



Agenda

**Planning & Zoning Commission Meeting
City of St. Peters Justice Center
1020 Grand Teton Drive, St. Peters, MO 63376
March 4, 2026, at 6:30 PM**

- A. Call to Order
- B. Invocation
- C. Pledge of Allegiance
- D. Attendance
- E. Approval of Minutes
 - 1. Minutes
- F. Communications and Reports of Officers
 - 1. Staff Recommendations
- G. Old Business
 - 1. Other:
 - a. JG Exteriors Pro: north side of I-70 Service Road North, south of Brown Rd – site plan reapproval. (Ward 1)
 - 2. Public Hearings:
 - a. Petition RZ 26-01 – Watermark St. Peters c/o Vessel Architects: a request for a rezoning from R-3 Multiple Family Residential District to Planned Urban Development District (PUD) to permit the conversion of living units from independent living to assisted living and/or skilled nursing units on a 13.2 +/- acre tract. The property is located on the east side of Jungermann Road at Brentmoor Lane – 363 Jungermann Rd. (Ward 3)
- H. New Business
 - 1. Other:
 - a. Little Brazil Catering, LLC: south side of Veterans Memorial Parkway, west of Costco Way – 311 Costco Way – Use Approval – temporary food sales. (Ward 1)
 - 2. Record Plats:
 - a. Upright Design Subdivision: south side of Salt River Road, east of Mid Rivers Mall Drive. (Ward 1)
 - b. Genesis One: south side of Veterans Memorial Parkway, west of St. Peters Centre Boulevard. (Ward 1)
 - 3. Site Plans:

- a. Kia – St. Peters: south side of Veterans Memorial Parkway, east of St. Peters Centre Blvd. (Ward 1)
 - b. Upright Truss Company: south side of Salt River Road, east of Mid Rivers Mall Drive. (Ward 1)
 - c. St. Charles Automotive Genesis Service Expansion: south side of Veterans Memorial Parkway, west of St. Peters Centre Blvd. (Ward 1)
 - d. Lutheran High School Multipurpose Building: south side of Mexico Road, east of St. Peters Centre Blvd. (Ward 1)
4. Public Hearings:
- a. Petition SU 26-01 – Ultimate K9 Training c/o Thaer Abdulkarim: a request for a Special Use Permit in the C-2 District for dog kenneling on a 0.5 +/- acre parcel. The subject site is located on the east side of Stoll Lane, north of Mexico Road (6180 Mexico Road). (Ward 1)
 - b. Update to Title IV Land Use (Chapter 405) of the St. Peters Municipal Code.

I. Adjournment

Agenda Posted at City Hall: 2/27/26 at 12:00 p.m.

By: M. Vollmer, Planning, Community & Economic Development Specialist

The meeting is available for viewing at www.sptvnow.net



**MINUTES
PLANNING & ZONING COMMISSION
ST. PETERS JUSTICE CENTER, 1020 GRAND TETON DR, ST PETERS, MO 63376
MEETING OF FEBRUARY 4, 2026 6:30 P.M.**

CALL TO ORDER:

Chairman Luehrs called the meeting to order at approximately 6:30 p.m.

INVOCATION:

A moment of silent prayer was observed.

PLEDGE OF ALLEGIANCE:

All in attendance said the Pledge of Allegiance.

ATTENDANCE:

Those in attendance were: Joseph Markus, Renee Tillman, Charles McBride; Alderman Rocky Reitmeyer; Shirley Moore; Leah Petras; Chairman John Luehrs; Steven Bailey; Bill Yoffie; Gregg Sartorius; Terry Lesinski; Ken Braunfeld Planning Coordinator; Tony Friedman, City Engineer; Julie Powers, Director of Planning, Community & Economic Development; Melissa Vollmer, Recording Secretary and Brian Butts, Plans Examiner. George Olivias, Building Commissioner and Madaline Barteau were absent. City Attorney Drew Weber was also present.

MINUTES:

A motion was made by Mr. Bailey and seconded by Ms. Tillman to approve the minutes of the January 7, 2026 Planning and Zoning Commission meeting. The motion carried unanimously.

COMMUNICATIONS AND REPORTS OF OFFICERS:

Chairman Luehrs explained the procedures for this evening's meeting. Ms. Powers noted that the items requiring Board action will be on the February 226th BOA Agenda.

OLD BUSINESS

1. Other:

- a. Everhome Suites: south side of Interstate 70, west of Salt Lick Road – site plan and special use permit re-approval.

Mr. Jeff Williams, General Manager for Woodspring Suites, presented this to the Commission for approval. Mr. Williams explained that the Everhome Suite hotel site plan and special use permit were approved by the Planning and Zoning Commission in August 2024; the special use was then granted a six-month extension in August 2025 and the site plan was reapproved for one year. AS permitted in the zoning code, they are seeking an additional six month extension of the special use permit as they have not started construction. The site is a 2.61 acre lot adjacent to the Woodspring Suites Hotel on the south side of Veterans Memorial Parkway. The proposed four-story, 59,800 square foot building will include one hundred and fifteen rooms. One hundred thirty eight parking spaces will be provided on site. The building design includes a mix of materials including a natural looking stone, polished stone, brick, EFIS and cement fiber board. The natural stone will wrap around the entire first floor of the building. Ms. Petras made a motion and Mr. Sartorius seconded to grant the six month extension of the special use permit. The motion was approved.

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Sartorius: Yes Yoffie: Yes McBride: Yes Petras: Yes Markus: Yes Moore: Yes
Tillman: Yes Reitmeyer: Yes Lesinski: Yes Luehrs: Yes Bailey: No
AYES: 10 NAYS: 1 ABSTENTIONS: 0 ABSENT: 0

- b. JG Exteriors Pro: north side of I-70 Service Road North, south of Brown Road – site plan reapproval.

Mr. Ken Braunfeld noted that the applicant was not in attendance and would like this item postponed until the March meeting. Mr. Bailey made a motion and Ms. Tillman seconded to postpone this item until the March 4, 2026 meeting. The motion was approved.

Sartorius: Yes Yoffie: Yes McBride: Yes Petras: Yes Markus: Yes Moore: Yes
Tillman: Yes Reitmeyer: Yes Lesinski: Yes Luehrs: Yes Bailey: Yes
AYES: 11 NAYS: 0 ABSTENTIONS: 0 ABSENT: 0

NEW BUSINESS

1. Public Hearings:

- a. Petition RZ 26-01 – Watermark St. Peters c/o Vessel Architects: a request for a rezoning from R-3 Multiple Family Residential District to Planned Urban Development District (PUD) to permit the conversion of living units from independent living to assisted living and/or skilled nursing units on a 13.2 +/- acre tract. The property is located on the east side of Jungermann Road at Brentmoor Lane – 363 Jungermann Road.

Ms. Julie Powers presented this to the Commission for approval. Ms. Powers noted that In 2022 the owners applied for and received approval from the Planning and Zoning Commission and the Board of Aldermen for a Planned Urban Development District (PUD) to allow the nursing home component at the development. Recently a signed copy of the PUD Agreement was requested and it was determined that signed copy was never returned to the City. Noting this, the City Clerk’s office advised of this situation and staff determined that reapproval of the PUD agreement is required. The property is currently being sold and the current owner and new owners have requested the public hearing be open and then held until the March meeting to allow time for closing of the property and the new owners to sign the PUD Agreement. Chairman Luehrs opened the public hearing at 6:43 p.m. Mr. Lesinski made a motion and Ms. Petras seconded to continue this public hearing until the March 4th meeting. The motion was approved.

Sartorius: Yes Yoffie: Yes McBride: Yes Petras: Yes Markus: Yes Moore: Yes
Tillman: Yes Reitmeyer: Yes Lesinski: Yes Luehrs: Yes Bailey: Yes
AYES: 11 NAYS: 0 ABSTENTIONS: 0 ABSENT: 0

2. Public Hearing and Site Plan:

- a. Petition RZ 25-07 – The Prime Co.: a request for a rezoning from the I-1 Light Industrial District to PUD Planned Urban Development to permit multiple family development on a 6.4 +/- acre parcel. The property is located east of Highway 79 north of I-70 Service Road North, south of Brown Road.

Mr. Bryan Elsey, The Prime Co., presented this to the Commission for approval. Mr. Elsey explained that the subject site consists of two tracts totaling 6.41 acres located between I-70 Service Road North and

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Brown Road, east of I-70 Service Road North. The tracts currently include single family residences. The proposal is for a 168-unit multiple family development. The units will be marketed as affordable apartments that include 42 one-bedroom units, 84 two-bedroom units, and 42 three- bedroom units. The development will include amenities such as a playground, pool, and amenity building. Initially, the developer submitted a plan for 180 units which was considered and recommended by the Planning Commission in October, 2025; the Board of Aldermen did not approve the requested rezoning. The units will have quality finishes and will provide new, attractive housing for single persons and families. It is anticipated that the project would serve workers in the Brown Road/Arrowhead business parks and other employers in the vicinity, as well as employers in Premier 370 and the larger community. Mr. Elsey noted they are planning to use funding authorized through the state and federal governments which dictate the census tracts which qualify for the funding. At this time, those tracts are north of Interstate 70. The site is zoned I-1 Light Industrial District and is in an area that is a mix of uses. This older area of the City includes single family residential development along Brown Road and south of the site along the outer road, and non-residential uses along Brown Road including a restaurant distributor, a shooting range, the Missouri Extension Services office, an electric substation and an Am Vets meeting hall. Further to the east, along the outer road of I-70, there is an older multiple family development in the R-3 Residential District and various commercial uses in the C-3 Commercial District. These include a swimming pool company, lawn company, self-storage, and small commercial/industrial uses. To the west of the site are an older home being used as a roofing/construction company, and an older home being used for as an office/storage use. Recent demand for workers, including work force for businesses in industrial areas and within the City Center, including the Special District and the medical uses to the east of the Special District, have added to the need for additional affordable/workforce housing. Since the initial submittal in September 2025, a building has been removed, thereby increasing the green space within the development. When initially submitted, staff recommended the developer incorporate the parcels to the west into the development. This would make the land use pattern in the area more congruent, with residential development extending eastward from the outer road. Mr. Elsey noted that prior to the meeting, he made a verbal agreement with an adjacent property owner to purchase an additional 8 acres to expand the project and would be back next month for that approval. The building design includes a mix of materials and colors which include brick in two colors and fiber cement in four colors. This mix of materials and colors presents an interesting design. Mr. Elsey explained that they are seeking a parking reduction which can be approved by the Commission per Section 405.560; a maximum of a 20% reduction can be granted for a development of the size proposed. Mr. Elsey indicated this reduction is workable based on other similar developments they have operated. The current plan includes 168 units on 6.41 acres which exceeds the permitted density of fourteen units per acre, but is less than the 180 units previously requested. The PUD section of the code allows some density bonuses based on plan features – landscaping, building arrangement, and pathways. In addition to this, a variance will be required to allow the requested density. Chairman Luehrs opened the public hearing at 6:57 p.m. and asked anyone wishing to speak on this petition to please come forward. Ms. Valerie Schroeder, 330 Brown Road, spoke in opposition to this petition; Mr. Jeff Shanks, 330 Brown Road, spoke in opposition to this petition; Ms. April Surgant, 461 Brown Road, spoke in opposition to this petition. Chairman Luehrs noted that the Commission received 5 emails in opposition to this petition. Seeing no one else present to comment, Chairman Luehrs closed the public hearing at 7:06 p.m. There was general discussion among the Commission related to traffic and about the prevailing wage. Ms. Petras made a motion and Mr. Markus seconded to recommend approval of this rezoning to the Board of Aldermen. The motion failed

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Sartorius: Yes Yoffie: No McBride: No Petras: No Markus: Yes Moore: Yes Tillman:
No Reitmeyer: No Lesinski: No Luehrs: Yes Bailey: No

AYES: 4 NAYS: 7 ABSTENTIONS: 0 ABSENT: 0

Mr. Bailey made a motion and Ms. Tillman seconded to recommend denial to the Board of Aldermen. The motion was approved.

Sartorius: No Yoffie: Yes McBride: Yes Petras: Yes Markus: No Moore: Yes
Tillman: Yes Reitmeyer: No Lesinski: Yes Luehrs: Yes Bailey: Yes

AYES: 8 NAYS: 3 ABSTENTIONS: 0 ABSENT: 0

b. 460 Brown Road Apartments: east side of Highway 79 north of I-70 Service Road North, south of Brown Road.

Mr. Bryan Elsey, The Prime Co., presented this to the Commission for approval. Mr. Elsey explained that the subject site consists of two tracts totaling 6.41 acres located between I-70 Service Road North and Brown Road, east of I-70 Service Road North. The tracts currently include single family residences. The proposal is for a 168-unit multiple family development. The units will be marketed as affordable apartments that include 42 one-bedroom units, 84 two-bedroom units, and 42 three-bedroom units. The development will include amenities such as a playground, pool, and amenity building. The units will have quality finishes and will provide new, attractive housing for single persons and families. It is anticipated that the project would serve workers in the Brown Road/Arrowhead business parks and other employers in the vicinity, as well as employers in Premier 370 and the larger community. The proposed development will include 168 units in eight buildings that will be three stories in height and oriented to Brown Road and the I-70 outer road. Parking would be in the center area of the buildings. The amenities would also be located in the center area. The development layout orients the buildings to the outside of the site. The building design includes a mix of materials and colors which include brick in two colors and fiber cement in four colors. This mix of materials and colors presents an interesting design. The details and trim add to the overall design. Mr. Elsey noted that they are seeking a parking reduction which can be approved by the Commission per Section 405.560; a maximum of a 20% reduction can be granted for a development of the size proposed. The developer has indicated this reduction is workable based on other similar developments they have operated. The current plan includes 168 units on 6.41 acres which exceeds the permitted density of fourteen units per acre, but is less than the 180 units previously requested. Staff notes that density increases have been allowed in multiple developments in the City. The PUD section of the code allows some density bonuses based on plan features – landscaping, building arrangement, and pathways. In addition to this, a variance will be required to allow the requested density. Other issues reflected in the contingencies for this plan include finalizing the landscape plan and final building elevations based on direction from the consulting architect. Other minor details that are needed include the location of fire hydrants and easements. Also, a sight proof fence is required along the east property line. Mr. Sartorius made a motion and Ms. Petras seconded to add the following contingency: Rezoning of the property to PUD must be approved. The motion was approved. Mr. Lesinski made a motion and Mr. Sartorius seconded to recommend approval of this site plan with the following contingencies:

1. Coordinate the final building elevations with the Planning Department, and show a typical building with entrances labeled on the final site plan.

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2. Provide a final plan that includes boundary information, engineer's signature and seal, and all easements.
3. Show any existing and proposed fire hydrants on the plan, and submit final landscaping and lighting plans.
4. Coordinate final site details, including utility service and stormwater management, with the Engineering and Utility departments.
5. Coordinate with the Planning and Building departments to determine the required accessible parking, including van accessible spaces.
6. Obtain a variance to authorize the increased unit density.
7. The rezoning of the property to PUD must be approved.

The motion was approved.

Sartorius: Yes Yoffie: Yes McBride: No Petras: Yes Markus: Yes Moore: Yes
Tillman: Yes Reitmeyer: Yes Lesinski: No Luehrs: Yes Bailey: No
AYES: 8 NAYS: 3 ABSTENTIONS: 0 ABSENT: 0

Mr. Bailey made a motion and Ms. Tillman seconded to adjourn the meeting at 7:48 p.m. The motion was approved.

Respectfully submitted:

Melissa Vollmer,
Recording Secretary

John K. Luehrs, Chairman
Planning and Zoning Commission

February 26, 2026

Architectural Review For:

Napleton Kia – Additions and Façade Renovations
South Side of Veteran’s Memorial, East of St. Peters Centre Blvd.
St. Peters, MO

Brief Project Description:

This proposed project is the renovations and additions to the existing Kia Dealership. The site plan indicates there are additions to nearly all sides of the existing building including the front. The proposed new North (front) Elevations are more stylized and consist of mainly glass and black decorative metal panels. The remainder of the additions are EIFS or Painted CMU. The color elevations appear to be photographs of a similar project, not this project. The black and white elevation represent this proposed project. Site plans, color photos/black and white elevations were produced and provided by RG Bowen Architects.

Summary:

The proposed project includes additions of unknown area but appears to be more than double the existing building area. The street facing elevation to the north is predominantly glass and metal panel. The sides and rear are a combination of EIFS and CMU with glass and metal panel returning towards the front. The west elevation is mainly EIFS and glass on the on the north portion with painted CMU on the south portion. It is important to note that a stone wainscot base is provided where EIFS is used to prevent impact damage along the walls.

The east and south facing sides are the only sides that will have any of the existing buildings exposed. The north portion of the east elevation is EIFS and stone wainscot with existing CMU to the south. The south elevation will be nearly all masonry with the exception being the existing metal panel at the top of the existing building. The south and east elevations indicate these existing areas will be re-painted to match the new finishes.

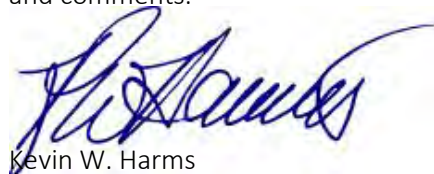
Overall, the building as proposed is consistent with the other auto dealerships in the area. The front portions are upgraded materials with the rear portions being painted masonry.

Questions / Comments / suggestions:

1. Confirm all rooftop equipment will be concealed by parapets or will be otherwise screened.
2. Confirm removal of the existing metal panels on the east and south, and painting the underlying cmu to match the adjacent cmu.
3. Note that the trash enclosure will be required to match the material of the main building.

Given the proximity of the building and adjacent buildings, the project as presented will be consistent with adjacent and nearby automobile dealerships and therefore appropriate for the area.

Please let me know if you have questions. I will be happy to answer any questions with my thoughts and comments.



Kevin W. Harms
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cc: ACT/File

February 26, 2026

Architectural Review For:

Genesis of St. Charles – Service Addition
South Side of Veteran’s Memorial, West of St. Peters Centre Blvd.
St. Peters, MO

Brief Project Description:

This proposed project is a 6,258 s.f. addition to the service areas at the rear (south side) of the existing building. The site plan indicates the additions are planned to be behind the existing building and therefore visibility from Veteran’s Memorial Parkway will be limited. That said, the addition building materials are indicated to be the same as the existing building. The color elevations were provided by TRI Architects. Site plans were provided by Stocke and Associates.

Summary:

The proposed project includes additions of 6,258 s.f. located at the rear of the existing building. The proposed building materials appear to be indicated to match the existing building built a few years ago (approximately 2023). The street facing elevation of the addition is substantially behind the existing building. The east and west sides will be partially visible due to the adjacent properties. That said, the addition will match the existing building materials and will be a consistent look in the elevations. Also, there is a stone cladding along the bottom of the building wall that is to be stained to match the existing building elevations.

Overall, the building addition as proposed is consistent with both the existing building and other auto dealerships in the area.

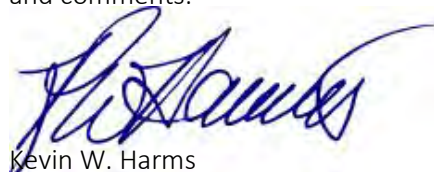
Questions / Comments / suggestions:

1. Confirm all rooftop equipment will be concealed by parapets or will be otherwise screened.
2. Confirm the new façade building materials are intended to match the existing building materials.

3. It appears the trash enclosure for this building may be shared with the Existing Prep/Detail building on the lot directly to the south. Confirm with the Planning Department that this is acceptable. If not, a new trash enclosure will be required on the Genesis property, and it will be required to match the building.

The project as presented will be consistent with the existing building and other adjacent, nearby automobile dealerships and therefore appropriate for the area.

Please let me know if you have questions. I will be happy to answer any questions with my thoughts and comments.



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February 26, 2026

Architectural Review For:

Upright Truss

South side of Salt River Road, East of Mid Rivers Mall Drive.

St. Peters, MO

Brief Project Description:

This proposed project is an Office / Warehouse building for Upright Truss Company. The site plan shows the new building is to be approximately 9,600 s.f. The building is situated facing Salt-River Road. The office is approximately 720 s.f. and is located in the northeast corner of the building. The developer has shown and upgraded façade. The color elevations were provided by Upright Desing & Consulting. Site plans were provided by Jennifer Brown Engineering LLC.

Summary:

The proposed project appears to be metal building with façade upgrades on the north side and wrapping around the northeast and northwest corners. It is noted the building directions are not identified as north south, east and west but rather front, back and side. I have been informed by discussions with the developer that the intent was to clad the exterior in concealed fastener metal panels and a masonry wainscot on the front and corners on the north, northwest and southwest corners. The rear, southeast and southwest were also to be clad in concealed fastener metal panels. The wainscot indicated on the elevation shows two distinct colors, and what appears to be two different materials. The developer has proposed an architectural feature at the office corner and a gable above the door on the north side.

Overall, the building addition as proposed is consistent with the existing buildings in the area. The front façade has been upgraded to address the prominent facing towards Salt River Road. In my opinion, the proposed project tis consistent and appropriate for the salt River Road corridor with the following comments and suggestions.

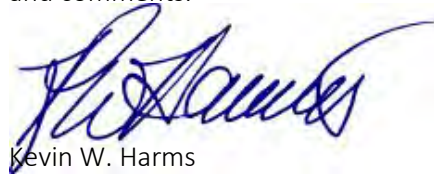
Questions / Comments / suggestions:

1. Show the masonry wainscot shall extend the full length of the east and west ends of the building (not the change in panel color indicated on the plans and elevations).

2. Coordinate the actual façade building materials and colors (concealed fastener wall panels, timber beams, masonry wainscot, and standing seam roof).
3. Confirm that no rooftop HVAC units are proposed.
4. Confirm that any ground mounted HVAC units will be screened from view or will be placed within the storage yard fence discussed during the submission and design portion of the submittal process.
5. A trash enclosure is not indicated on the site plan. If a trash enclosure is required, the materials shall match / complement the building materials used for the proposed structure.

The project with the comments addressed above will be consistent with the current buildings and those under construction in the area. I recommend the developer obtain approval of final building elevation from the Planning Department prior to permit being issued.

Please let me know if you have questions. I will be happy to answer any questions with my thoughts and comments.



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February 26, 2026

Architectural Review For:

Lutheran High Multi-Purpose Building
South side of Mexico Road, East of St. Peters Centre Blvd
St. Peters, MO

Brief Project Description:

This proposed project is a multipurpose building for Lutheran High School. The building is located to the south of the existing high school building and on the opposite side of the creek. The building is its proposed location will not be visible from Mexico Road but will be visible from the parking area of FXE high school.

The site plan shows the new building is to be approximately 10,686 s.f. In addition to the building itself, a fairly large canopy is indicated along the east side of the building. This canopy is fairly tall; it may be 20' above grade. Also, this building appears to be between 25 and 30 feet tall. The rendering and elevations do not give any vertical dimensional information. The heights indicated in this letter are approximated from the elevations. There appears to be large overhead doors on the east and west side along with a glass storefront entry feature approximately the height of the canopy. The building is located to the south of the existing high school building and on the opposite side of the creek.

The color elevations and renderings were provided by Mission Architects. Site plans were provided by Bax Engineering Company, Inc.

Summary:

The proposed project appears to be a metal building with a masonry brick wainscot that appears to be approximately 4-5 feet tall. The remainder of the walls are indicated to be metal wall panels; however, the panel's design is not indicated. It is noted the nearby and recently completed City maintenance building uses concealed fastener textured panels to provide a more finished appearance. The roof is indicated to be standing seam roof panels. The brick wainscot is rather

plain; there is not an obvious transitional point between the brick and metal wall panels. The colors are bold and will be a striking color against the adjacent foliage. In my opinion the proposed project will be acceptable, consistent and appropriate for adjacent Rec-plex and FZE buildings.

Questions / Comments / suggestions:

1. Recommend the use of concealed fastener panels and confirm the construction of the canopy on the east side of the building.
2. Recommend a brick rowlock be added along the brick wainscot. This will add a shadow line and improve the transition from brick to metal wall panels.
3. Confirm that no rooftop HVAC units are proposed. If any are proposed, they will be appropriately screened.
4. Confirm that any ground mounted HVAC units (if planned) will be screened from view.
5. Identify the heights of the various building elements.
6. A trash enclosure is not indicated on the site plan. If a trash enclosure is provided or is required, the materials shall closely match / complement the building materials used for the proposed structure.

The project with the comments addressed above will be consistent with the current buildings and those under construction in the area. I recommend the developer obtain approval of final building elevation from the Planning Department prior to permit being issued.

Please let me know if you have questions. I will be happy to answer any questions with my thoughts and comments.



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**STAFF RECOMMENDATIONS TO THE
PLANNING AND ZONING COMMISSION MEETING
MARCH 4, 2026**

g. Old Business

1. Other:

Name/Location of Development:

1. JG Exteriors Pro: north side of I-70 Service Road North, south of Brown Rd – site plan reapproval.

Staff Evaluation:

This applicant is seeking an extension of the site plan approval for one year as permitted by City Code. The project was previously approved by the Planning and Zoning Commission on November 2, 2022 and then again on November 6, 2024. The project was delayed while the sanitary sewer connection was finalized, including the design of the sanitary sewer grinder pump and force main.

The proposed development is located on the north side of Interstate 70 North Service Road, east of Highway 79. The 1.23-acre tract is zoned I-1 Light Industrial District and currently contains a house and detached commercial garage. The project will include renovation of the existing house to become a commercial office. The existing garage will also be renovated and used for storage.

Noting this, staff believes the extension of time for the site plan is reasonable and will allow the project to move forward.

Staff Recommendation:

Based on this analysis, staff recommends approval of the extension to the re-approval of the site plan with no contingencies.

Name/Location of Development:

- a. Petition RZ 26-01 – Watermark St. Peters c/o Vessel Architects: a request for a rezoning from R-3 Multiple Family Residential District to Planned Urban Development District (PUD) to permit the conversion of living units from independent living to assisted living and/or skilled nursing units on a 13.2 +/- acre tract. The property is located on the east side of Jungermann Road at Brentmoor Lane – 363 Jungermann Rd. (Ward 3)

Staff Evaluation:

The subject project – Watermark St. Peters – is located on a 13.25 acre site on the east side of Jungermann Road, at Orchard Hills Drive. Access to the site is via Brentmoor Lane which aligns

with Orchard Hills Drive. The development includes one large building with individual units and separate villa units; parking is around the large building and at each villa unit.

Prior to 2022, the development was entirely independent living. At that time the owner approached the City with a plan to convert some of the units to assisted living. By converting some of the units to allow nursing care, residents can transition from independent living to a higher level of care without having to relocate to another facility. Thus, residents and their families do not have the upheaval of looking for a new location and moving an individual or couple. As part of this process, the mayor and board members, along with staff, attended the Certificate of Need (CON) hearing for this matter in support of the project. The CON for the proposed units was reviewed and approved on January 4, 2022.

At that time the owners applied for a Planned Urban Development District (PUD) to allow the nursing home component at the development. Staff was of the opinion the proposed nursing home component could be accommodated in the existing development and would be a welcome and needed addition to the facility, noting that the site area is a mix of commercial and residential uses and that the development had been in place for twenty-one years and has functioned without issue at the subject location. Staff noted the operator was planning to convert twenty-two beds in the large building to assisted living beds. At that time (2022) there were 136 one-bedroom units, thirty-two-bedroom units, and twenty villas.

The PUD agreement as drafted permitted both types of units but did not limit the number of assisted living units. This allows the operator to obtain licensing for additional nursing care units in the future as needed.

Recently a signed copy of the PUD agreement was requested, and it was determined that a signed copy was never returned to the City. Noting this, the City Clerk's office advised of this situation and staff determined that reapproval of the PUD agreement is required. Noting that, this item is before the Planning Commission for re-approval such that an original signed document can be provided.

Staff Recommendation:

Based on the above review, staff recommends approval of the attached PUD agreement.

h. New Business

1. Other:

Name/Location of Development:

- a. Little Brazil Catering, LLC: south side of Veterans Memorial Parkway, west of Costco Way – 311 Costco Way – Use Approval – temporary food sales. (Ward 1)

Staff Evaluation:

The applicant is proposing a food truck location in the parking lot of the Hoods home improvement store along Costco Way Drive. The proposed use is for a food truck selling Brazilian food. The applicant has approval from the property owner, Hoods, to operate. They have been operating at this location for approximately one year after P&Z approval.

The applicant is seeking approval of the business for an additional time. The food truck will come to the location each day to operate. It is staff’s understanding they would open for lunch and dinner carryout, Wednesday through Sunday and they would like to be at this location for as long as permitted. It is noted that if the hours or days of operation expand or contract, it would not affect the appropriateness of the use at this location. The applicant will continue to work with the Business Licensing Department, Health Department, and the Building Department to meet the various health and safety regulations.

Food will be cooked at the applicant’s commissary. Staff understands that the food truck operators will use the Hoods bathrooms inside the building and the trash dumpsters behind the building. Ample customer parking is available in the Hoods parking lot.

In this case, the applicant will be operating from a standard food truck, which will contain the operation of the business. It can be noted the market is shifting and that “pop-up” food vendors and/or food trucks are becoming more popular. This includes two recent seasonal businesses, The Shaved Ice Shack at the Promenade and the Kiraboos Shaved Ice in front of Schnucks. Noting the acceptance of food trucks and the attractiveness of the food truck design, placement in the parking lot will be appropriate. In addition, the location will not interfere with pedestrian or vehicle circulation. No on-site eating is proposed at this time; however, there is room to accommodate a limited outside seating, if appropriately fenced.

As noted, the food truck will be set up each day that they are at the subject location. Staff believes the use will be appropriate at the subject location given the accessory nature of food trucks, and the availability of parking, trash service, and bathrooms. However, due to the semi- permanent nature of the business, staff recommends a six-month time frame for operation of the food truck (re-review in September, 2026). If there are no issues, the use can be reviewed for additional time.

Staff Recommendation:

Staff recommends approval of the temporary business location and site plan with the following contingencies:

Recommended Contingencies:

1. Obtain approval from the Business Licensing Department, Health Department, and the Building Department for food sales.
2. Coordinate with the Planning Department at the time any outside seating area including decorative fencing.

3. Verify that trash will be placed in the trash enclosures controlled by Hoods or removed from the site, and that restroom access for the food truck workers will be at Hoods.
4. Re-submit for review by P&Z in September, 2026.

2. Record Plats:

Name/Location of Development:

- a. Upright Design Subdivision: south side of Salt River Road, east of Mid Rivers Mall Drive.

Staff Evaluation:

The proposed plat will create two lots. Lot A contains 3.22+/- acres and Lot B contains 3.65+/- acres. Currently Lot A is proposed for a Upright Design, a truss manufacturing company. It is noted the property to the south was recently platted to accommodate the Fort Zumwalt bus transportation facility.

Access to both Lot A and Lot B will be from their respective cross-access easement driveways onto Mid Rivers Mall Drive and Salt River Road; these are both covered with a cross access easement. A thirty-five foot wide trail easement runs along the south side of Salt River Road. After the trail easement was created additional right-of-way was dedicated to the City, which overlapped a portion of the thirty-five (35) foot trail easement. To maintain a consistent thirty-five foot wide trail easement, beyond the right-of-way, an additional trail, roadway maintenance, and utility easement is being dedicated with this plat.

The remaining issues related to this plat are standard conditions that will be addressed at the time of recording.

Staff Recommendation:

Based on this analysis, staff recommends approval of the plat subject to the contingencies:

Recommended Contingencies:

1. Provide general utility easement along both sides of the property line between Lots A and B.
2. The following items are to be provided prior to recording:
 - a. Provide signature and seal.
 - b. Provide verification that all taxes have been paid.
 - c. Provide a digital media copy of the plat

Name/Location of Development:

- b. Genesis One: south side of Veterans Memorial Parkway, west of St. Peters Centre Boulevard.

Staff Evaluation:

This plat will adjust and consolidate the Genesis and Nissan dealership properties. Currently the Genesis building is on a separate lot (Lennox Knoll Lot1) from the remainder of the Genesis inventory parking lot and carwash (Pipe Subdivision Lot 1). In addition, there will be a minor adjustment of the west property line with St. Charles Nissan (Pipe Subdivision Lot 2), to center it within the green space between the two properties.

When complete, the Genesis building and its surrounding inventory parking will be on one lot (Genesis One Lot G3), the carwash building will be on its own lot (Genesis One Lot G2), and Nissan will be on (Genesis One Lot G1).

It is noted that the carwash building is an accessory use and must be located on the same lot as a primary use, which in this case would be the Genesis dealership. Due to contractual issues with the other two St. Charles Automotive dealerships (Hyundai and Nissan) the carwash needs to be on its own lot. Therefore, a variance will be requested to have an accessory use on a separate lot.

Staff Recommendation:

Based on this analysis, staff recommends approval of the plat subject to the contingencies:

- 1. Obtain a variance for an accessory structure (carwash) on a separate lot.
- 2. Revise signature block to read Lisa L. Schroeder, City Clerk
- 3. The following items are to be provided prior to recording:
 - a. Provide signature and seal.
 - b. Provide verification that all taxes have been paid.
 - c. Provide a digital media copy of the plat after recording.

3. Site Plans:

Name/Location of Development:

- a. Kia- St. Peters: south side of Veterans Memorial Parkway, east of St Peters Centre Blvd.

Staff Evaluation:

The proposed project will be located on a 2.309 acre parcel on the south side of Veterans Memorial Parkway, east of St. Peters Centre Boulevard. The KIA dealership initially received site plan and zoning approval from the Planning and Zoning Commission on November 5, 2003.

The project includes a 20,000+/- square foot expansion and remodel of the existing 15,000+/- square foot KIA dealership for a total of 35,000+/- square feet. The expansion will include a new front façade as well as an expansion of the sales area and rear service center.

The KIA franchise is part of Napleton's larger multi-franchise development, which includes Dodge/Jeep and Maserati, which are all interconnected via cross-access driveways and parking lots. In addition there is a connected auxiliary inventory lot south of the Dodge/Jeep dealership, along Executive Centre Parkway. The overall development has a total of 729 parking spaces, well exceeding the minimum required 353 parking spaces.

Staff is finalizing the landscape plan with special attention to the west property line adjacent to the new apartments. In addition, staff will be working with the owner to ensure the lighting will not shine or glare onto the adjacent apartments.

The existing block building is clad in decorative white metals panels with a glass storefront showroom. The proposed remodel will expand the front glass showroom and replace the white decorative metal panels with black panels. The sides of the sales area will be a combination of EFIS and block with a wainscot of stone. The expanded service center will be block. Parapets will be extended above the roof line to provide a finished appearance with roof top utilities being shielded by secondary screens. Overall, the design of the building is modern and matches with other current new car dealer franchises.

Staff Recommendation:

Based on this analysis, staff recommends approval of the site plan and building elevations subject to the contingencies:

1. Coordinate the final landscape plan with the Planning Department.
2. Coordinate the final lighting plan with the Planning Department.

Name/Location of Development:

- b. Upright Truss Company: south side of Salt River Road, east of Mid Rivers Mall Drive. (

Staff Evaluation:

The proposed development will be located on a 3.94 acre tract at the southeast corner of Mid Rivers Mall Drive and Salt River Road. The project will include a 9,600 office/warehouse for the manufacturing of wood trusses. Access to the site will be from an existing curb cut to Salt River Road that is shared with the Fort Zumwalt Transportation Center to the south.

A dedicated right turn lane is proposed for access to this site and the Fort Zumwalt Transportation Center. In addition, a separate bike trail is also proposed along Salt River Road. Both the right turn

lane and bike trail will be located within existing right-of-way and road/trail easement that will be dedicated. This project will be responsible for grading to accommodate the right turn lane and trail, but not its construction. In addition, and as acknowledged on the site plan, access to this property, which extends west to the intersection of Mid Rivers and Salt River Road, is limited to the existing curb cut.

Staff will be working with the applicant to revise the truck turning radius to be from the proposed right turn lane and for a full-size semi-truck, to insure proper access. To facilitate drainage, a portion of the north/south driveway curb will be removed. Where the curb is missing, an appropriate water quality element will be added that allows drainage but prevents cars/trucks from driving off the pavement.

Staff will also be working to fine tune the lighting plan and will coordinate a landscape plan including the placement of street trees along Salt River Road. An outside dumpster enclosure will also be added to the site plan.

Staff has advised the owner that the outside storage of materials, products, or equipment will need to be appropriately screened. It is noted that Salt River Road is approximately six feet above the property, which will make the design of a visually appropriate screen very challenging. The owner was also advised that all manufacturing, assembly, construction, or any other such work will need to be performed inside the building. The owner indicated no outside storage or manufacturing will be conducted outside. The owner indicated they operate a “just in time” facility. All deliveries will be dropped inside the building, the trusses manufactured and stored in the building, and/or then immediately shipped to the job site or secondary location.

The proposed building will include concealed fastener metal panels, masonry wainscot around the building, and additional masonry on the front facade. To provide interest, the office corner of the building will include thick wooden beams in the shape of a truss. Overall, the design will be attractive and appropriate for the area.

Based on this analysis, staff recommends approval of the site plan and building elevations subject to the contingencies:

Name/Location of Development:

1. Show the location of the proposed right turn lane and bike trail and revise the entering truck turning radius to be from the proposed new right turn lane, for a full-size semi-trailer.
2. Call out the minimum four foot landscape buffer strip and coordinate the design of the stormwater/water quality element, where there is no curb, on the west side of the north/south driveway.
3. Coordinate the final lighting design.
4. Provide and coordinate a landscape plan with the Planning Department.

5. Show the location of the trash enclosure.
6. Finalize the architectural design of the building with the Planning Department and note any future rooftop mechanical equipment shall be screened on all sides to the height of the units.

Name/Location of Development:

- c. St. Charles Automotive Genesis Service Expansion: south side of Veterans Memorial Parkway, west of St. Peters Centre Boulevard.

Staff Evaluation:

The project will include the expansion of the recently constructed Genesis dealership. The Planning and Zoning Commission approved the original 2.71 acre project on September 7, 2022, with the Genesis dealership opening in early 2024.

The existing 12,340 square foot building will be expanded 6,258 square feet, for a total of 18,598 square feet, to provide for a larger service center. Access will remain the same to Veterans Memorial Parkway and to the adjacent dealerships via driveways covered with cross access easements. Landscaping and lighting will also remain the same.

Concurrent with the expansion, the property will be replatted to adjust and consolidate the Genesis and Nissan dealership properties. Currently the Genesis building is on a separate lot (Lennox Knoll Lot1) from the remainder of the Genesis inventory parking lot and carwash (Pipe Subdivision Lot 1). In addition, there will be a minor adjustment of the west property line with St. Charles Nissan (Pipe Subdivision Lot 2), to center it within the green space between the two properties.

When complete, the Genesis building and its surrounding inventory parking will be on one lot (Genesis One Lot G3), the carwash building will be on its own lot (Genesis One Lot G2), and Nissan will be on (Genesis One Lot G1).

It is noted that the carwash building is an accessory use and must be located on the same lot as a primary use, which in this case would be the Genesis dealership. Due to contractual issues with the other two St. Charles Automotive dealerships (Hyundai and Nissan) the carwash needs to be on its own lot. Therefore, a variance will be requested to have an accessory use on a separate lot.

The modern contemporary showroom architectural design will remain, which includes decorative Alucabond metal panels with large glass windows and masonry block. The rear service center currently includes EFIS walls with a wainscot of masonry. The proposed expansion will maintain this same design. Roof top utilities will be screened by a parapet and secondary panels.

Staff Recommendation:

Based on this analysis, staff recommends approval of the site plan and building elevations with no contingencies.

Name/Location of Development:

d. Lutheran High School Multi-purpose building: south side of Mexico Road, east of St. Peters Centre Blvd.

Staff Evaluation:

The proposed project is a 10,866+/- square foot multi-purpose building for Lutheran High School. The facility will be located to the south of the existing high school and Spencer Creek, east of the Rec-Plex South building. The property is located in the floodplain with the building being elevated above the 100 year flood level.

Vehicle access will be through the existing Rec-Plex parking/driveways via a cross-access driveway agreement that is being coordinated with the City of St. Peters. Pedestrian access will be from two existing pedestrian bridges, over the creek, to the high school. The main Lutheran High School parking lot will continue as the main parking lot for the school and this facility. Parking at the site will be limited to only a few spaces for faculty/staff and pick-up drop off for students. Due to the flat topography, the driveway needs an appropriate edge that allows drainage but prevents driving and parking.

The proposed blue and gray building is metal with a wainscot of masonry and a large canopy to the east. The bright blue vertical panels provide interest and compliment the Lutheran High School colors. Staff is coordinating the feasibility of incorporating concealed and/or textured panels to provide a more finished appearance. An attractive landscape package including tree and bush plantings has also been proposed.

Overall, the design of the building is appropriate for the area and will be consistent with both the adjacent Rec-Plex South and the Lutheran High School building.

Based on this analysis, staff recommends approval of the site plan and building elevations subject to the contingencies:

1. Obtain cross-access driveway approval from the City of St. Peters and note the document on the site plan.
2. Coordinate curbing or other edging along the driveway parking lot.

4. Public Hearings:

Name/Location of Development:

a. Petition SU 26-01 – Ultimate K9 Training c/o Thaer Abdulkarim: a request for a Special Use Permit in the C-2 District for dog kenneling on a 0.5 +/- acre parcel. The subject site is located on the east side of Stoll Lane, north of Mexico Road (6180 Mexico Road).

Staff Evaluation:

The proposed use will be located within an existing residence that was previously a veterinarian’s office for many years. The applicant is planning to use the site for dog training, which is a permitted use in the C-2 District. However, they also plan to kennel dogs as an accessory to the training business; this requires a special use permit.

The kennel will be within the existing home that previously functioned as the vet office. The vet did some kenneling to allow for the care of sick animals, so the lower level is set up to allow this use. Staff notes the building is properly heated and cooled and has been reviewed by the City’s Building and Animal Control departments to ensure compliance with City Code. Also, there is an inside drain to facilitate cleaning and waste removal which is also required. Staff notes the City’s Consulting Architect has reviewed the building and suggested modifications to the exterior to create a more commercial appearance. These include the addition of an entrance feature or awning and a new, commercial door to enhance the front façade. In addition, landscape clean-up and enhancement and parking lot repairs are planned to improve the overall appearance of the site. Staff notes these are referenced in the special use permit conditions with stated completion dates.

Staff notes the dog training, which is a permitted use on site, is planned for the rear garage building. The applicant indicated they will be training 10 – 20 dogs but only one dog at a time. Therefore, there is ample parking to accommodate the one – two vehicles that may be dropping off or picking up dogs at any time.

Staff notes that an outside dog run is not planned at this time. If outside, dogs will be leashed and with the operator or a staff member. If this changes in the future, any outside fenced area will have to be approved on an amended site plan including location and fencing details.

The surrounding land uses include commercially zoned property to the east which include a residence and a bank; further to the east, across Spencer Road, are McDonalds and Menards. To the west is also commercial zoned property developed with a small strip center and small offices. To the north is a single-family subdivision along Stoll Lane in the R-1 District. To the south, across Mexico Road, is a multiple family development, Vanderbilt Apartments, in the R-3 Residential District. Overall, the site is conducive to the kennel as the kennel activity will be in the southern most building (house) which fronts to Mexico Rd. The area closest to the residences to the north will be used for training which will be primarily one – on – one with a trainer.

The site area is served by Mexico Road which been designed to carry heavy traffic levels. The site entrances are to Mexico Road and Stoll Lane, both of which are designed to serve commercial users.

Staff is of the opinion a kennel can operate without detriment to the area. The business will be located along a major roadway and the site has easy access. The site was used for a veterinarian office for years without issue. Overall, the proposed use will provide a valued service to the community and occupy a vacant site.

Per the City of St. Peters Zoning Code, the review of any proposed special use must include consideration of certain standards; these are addressed below:

- a. *Conformity with the City Code:* The proposed facility, with the conditions contained in the special use permit, will be in keeping with the requirements of the City Code. No variances from the code requirement are proposed.
- b. *Matters pertaining to general welfare:* The facility will be located within an existing building (home) and outbuildings on an ample sized lot which can be easily accessed by clients of the operator. There will be no detriment to the general area.
- c. *Character of the surrounding area:* The subject site includes a residence which fronts a major roadway near a commercial node. The proposed use would be compatible with the area given the placement of the kennel animals closest to Mexico Road.
- d. *Compatibility with surrounding uses and neighborhood:* The area zoning and development is a mix of commercial, multiple family and single family uses. The proposed facility will be in an existing residence that is away from the single family residences to the north. Overall, the use will be consistent with the commercial uses along this area of Mexico Road.
- e. *Impact on value of neighboring property.* The kennel, with the conditions contained in the special use permit, will be compatible with adjacent properties. The kennel will be in the building (house) furthest from the single-family subdivision to the north. Staff does not anticipate any negative impact on the value of surrounding properties.
- f. *The Comprehensive Plan:* The City's Comprehensive Plan, as amended in 2009, indicates the site area is planned for commercial and mixed uses. The proposed use of a kennel would be consistent with the plan.
- g. *Parking:* The site has been used for a similar use – a veterinarian's office – for many years such that the parking meets or exceeds Code requirements.
- h. *Traffic conditions in the surrounding area:* The site is served off of Mexico Road which has been adequately improved to serve the land uses in the area and is designed to accommodate commercial traffic levels.
- i. *Public Utility facilities:* The existing site is currently served with all utilities; utility services are readily available in this area.
- j. *Conditions:* Specific conditions have been recommended to ensure the use is developed in a manner compatible to the area.
- k. *Time limits:* A time limit is not deemed necessary for the proposed development.

Staff Recommendation:

Based on this analysis, staff recommends approval of Petition SU 26-01 subject to the draft Special Use permit.

Name/Location of Development:

- b. Update to Title IV Land Use (Chapter 405) of the St. Peters Municipal Code.

Staff Evaluation:

Chapter 405.775 of the City Code includes requirements related to amendments of the zoning code, including notification. Staff notes that the State statute requirement of a notice in a public newspaper is stated in this section. In addition, the City Code requires that letters be mailed to property owners within 1,000 feet of the property being rezoned or subject to a special use permit and a sign be posted on the subject property. The posting of a sign in front of an adjacent subdivision entrance is also referenced in the code.

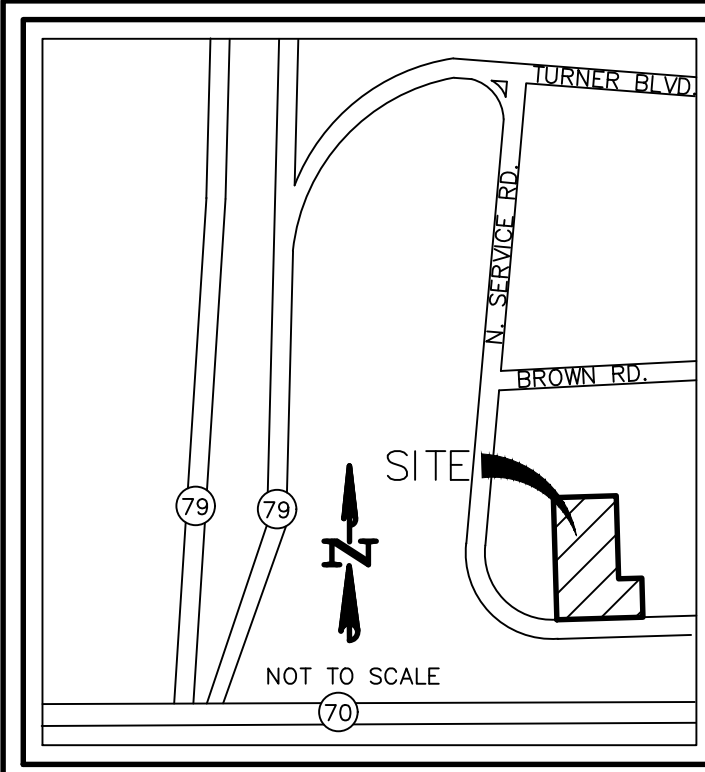
Staff has recently noticed that many other cities in the region have shifted to a sign that includes a link to a web page rather than a sign that is printed for each proposed zoning or special use. Staff is recommending that the City of St. Peters proceed in this way – it will save staff time and effort in addition to printing costs. Also, by linking to the web page, additional information – plans, reports, etc. – can be linked so residents can easily access information related to planned developments.

Staff is also recommending that the requirement to post a sign nearby a site be deleted. This is applicable in limited circumstances and has caused confusion at times when a sign is seen and assumed to apply to the nearby subdivision or a site that is not being developed. With the City’s effort to post a sign on the subject property and send multiple letters, the required notification is being exceeded.

The attached draft language details the recommended changes and also provides some sample signs and web site links. Overall, staff believes this will have a cost savings for the City and provide better access to improved information for residents.

Staff Recommendation:

Staff recommends modification to the City Code as detailed in the attached summary.



Location Map

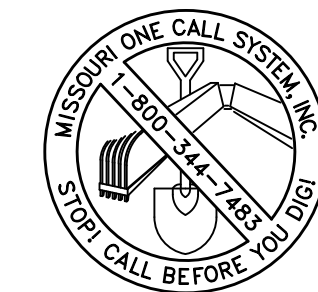
General Notes:

- Underground utilities have been plotted from available information and therefore their locations shall be considered approximate only. The verification of the location of all underground utilities, either shown or not shown on these plans shall be the responsibility of the contractor, and shall be located prior to any grading or construction of the improvements.
- All trench backfills under paved areas shall be granular backfill, and shall be compacted to 90% of the maximum density as determined by the "Modified AASHTO T-180 Compaction Test," (A.S.T.M.-D-1557). All other trench backfills may be earth material (free of large clods or stones). All trench backfills shall be water jetted.
- No area shall be cleared without the permission of the Project Engineer.
- All grades shall be within 0.2 feet of those shown on the Grading Plan.
- No slope shall be steeper than 3:1. All slopes shall be sodded or seeded and mulched.
- All construction and materials used shall conform to current City of St. Peters standards.
- All mechanical equipment to be screened from public view.
- Proposed building will comply with current American Disability Act requirements.
- See architectural drawing for all building dimensions, service connections, details, etc.
- All utilities shown are existing unless otherwise noted. All new utilities shall be located underground.
- All dimensions are to back of curb unless otherwise noted.
- All construction methods and practices shall conform with current O.S.H.A. Standards.
- All signs on the site or any structure must have sign permits approved by the City of St. Peters.
- Exterior lighting shall be shielded so that artificial light intensity at the property line will not exceed 0.5 footcandles except as allowed along public Right-Of-Ways.
- All necessary utilities (public and private) will be available, functioning, and usable at the time any stage of the project or the total project is ready for occupancy.
- Developer must supply the City Construction Inspectors with soil reports prior to or during site soil testing.
- All storm sewer pipes shall be gasket o-ring type.
- All water mains, valves, fittings, hydrants and related items are to be installed in accordance with the current City of St. Peters guidelines and specifications.
- Forty-eight (48) hours notice shall be given to the St. Peters City Engineer: (636) 477-6600 before any grading operations are to begin to allow scheduling of required inspections.
- Forty-eight (48) hours notice shall be given to the St. Peters City Engineer: (636) 477-6600 before any storm sewer construction is to begin to allow scheduling of required inspections.
- All sidewalks, curb ramps, ramps and accessible parking spaces shall be constructed in accordance with the current approved "Americans with Disabilities Act Accessibility Guidelines" (ADAAG) along with the required grades, construction materials, specifications and signage. If any conflict occurs between the above information and the plans, the ADAAG guidelines shall take precedence and the contractor shall notify the Project Engineer. Ensure at least one 8' wide handicap access aisle is provided and curb ramps do not project into handicap access aisles.
- Standard Pavement design shall comply with the City of St. Peters specifications.

Grading Quantities:

700 C.Y. CUT	(INCLUDES SUBGRADE)
300 C.Y. FILL	(INCLUDES 8% SHRINKAGE)
400 C.Y. HEAVY	

THE ABOVE GRADING QUANTITY IS APPROXIMATE ONLY, NOT FOR BIDDING PURPOSES. CONTRACTOR SHALL VERIFY QUANTITIES PRIOR TO CONSTRUCTION. THIS DOES NOT INCLUDE ANY SEWER OR UTILITY SPOILS.

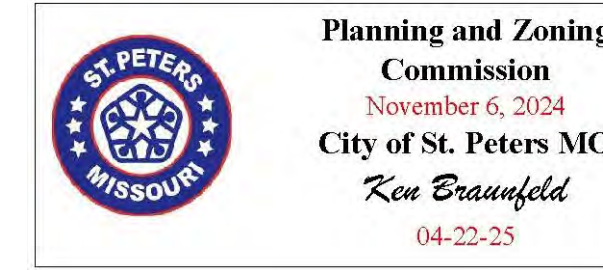


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UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING OR CONSTRUCTION OF THE IMPROVEMENTS.

A SET OF CONSTRUCTION PLANS FOR JG EXTERIORS PRO

A TRACT OF LAND BEING PART OF U.S. SURVEY 1808
TOWNSHIP 47 NORTH, RANGE 3 EAST
OF THE FIFTH PRINCIPAL MERIDIAN
CITY OF ST. PETERS
ST. CHARLES COUNTY, MISSOURI



Grading Notes:

- All fill placed under proposed storm and sanitary sewer lines and/or paved areas including trench backfills within and off the right-of-way shall be compacted to 90 percent maximum road density as determined by the "Modified AASHTO T-180 Compaction Test" (ASTM D-1557). All tests shall be verified by a Soils Engineer concurrent with grading and backfilling operations. All test result reports shall be faxed to the St. Peters City Engineer: (636) 477-9077.
- All filled places in proposed and existing roads shall be compacted from the bottom of the fill up to 90 percent maximum density as determined by the "Modified AASHTO T-180 Compaction Test" (ASTM D-1557). Paved areas in cuts shall meet the same compaction requirements. All tests shall be verified by a Soils Engineer concurrent with grading operations.
- All wells and/or springs which may exist on this property shall be located and sealed in a manner acceptable to the City of St. Peters.
- All trash and debris on-site, either existing or from construction, must be removed and properly disposed of off-site.
- Soft soils in the bottom and banks of any existing or former pond sites or tributaries or any sediment basins or traps should be removed, spread out and permitted to dry sufficiently to be used as fill. None of this material should be placed in proposed public right-of-way locations or on any storm sewer location.
- All excavations, grading or filling shall have a finished grade not to exceed a 3:1 slope (33%).
- Temporary siltation control measures (structural) shall be maintained until vegetative cover is established at a sufficient density to provide erosion control on the site.
- Upon completion of storm sewers, siltation control shall be provided around all open sewer inlets and shall remain until the disturbed drainage areas have been properly stabilized.
- Where natural vegetation is removed during grading, vegetation shall be re-established in such a density as to prevent erosion.
- When mechanized land clearing activities are completed or suspended for more than 14 days, either temporary vegetation must be established or temporary siltation control measures must be put in place with the review and approval of the City Engineer.
- When grading operations are completed or suspended for more than 14 days, permanent grass must be established at sufficient density to provide erosion control on the site. Between permanent grass seeding periods, temporary cover shall be provided according to the City Engineer's recommendation.
- All finished grades (areas not to be disturbed by future improvement) in excess of 20% slopes (5:1) shall be mulched and tacked at the rate of 100 pounds per 1,000 square feet when seeded.
- All areas shall be seeded and mulched at the minimum rates defined in Appendix "A" of the "Model Sediment & Erosion Control Regulations" or sodded before an occupancy permit shall be issued except that a temporary occupancy permit may be issued by the Building Department in cases of undue hardship because of unfavorable ground conditions.
- Site to comply with City of St. Peters Chapter 530 Grading Ordinance.
- Contractor to supply City of St. Peters inspector with copies of the compaction test reports.
- Siltation controls shall be installed and inspected by the city of St. Peter's construction inspector, prior to disturbance of site, contact Matt Adams at 636-477-6600 Ext. 1329.

Grading/Sediment and Erosion Control Notes:

- The Contractor shall assume complete responsibility for controlling all siltation and erosion of the project area. The Contractor shall use whatever means necessary to control erosion and siltation including, but not limited to, staked straw bales and/or siltation fabric fences (possible methods of control are detailed in the plan). Erosion control shall commence with grading and be maintained throughout the project until acceptance of the work by the Owner and/or the City of St. Peters. The Contractor's responsibilities include all design and implementation as required to prevent erosion and the depositing of silt. The Owner and/or City of St. Peters may, at their option, direct the Contractor in his methods as deemed fit to protect property and improvements. Any depositing of silts or mud onto new or existing pavement or in new or existing storm sewers or swales shall be removed after each rain and affected areas cleaned to the satisfaction of the Owner and/or the City of St. Peters.
- Perimeter siltation control shall be installed prior to any land disturbance of the site.
- Inspection of siltation control devices shall take place once every seven days and after any one-quarter (1/4) inch or more rain event.
- Any siltation control in need of repair shall be fixed immediately.
- All slopes or drainage channels, once constructed to final grade, shall be seeded and mulched per specifications within seven (7) days.
- Silt fences shall be installed immediately around each storm sewer structure once final construction of each individual structure is complete.
- All siltation control devices shall remain in place until upslope areas have been permanently stabilized.

SCHEDULE IMPLEMENTATION

- Perimeter siltation control and construction entrance to be installed.
- Begin placing aggregate base in proposed paved areas once area has reached final grade to prevent erosion.
- Place silt fence around each storm sewer structure as it is completed.
- Immediately seed areas that are to be permanently seeded upon reaching final grade.

SILTATION CONTROL DEVICE MAINTENANCE

- Silt fence barriers shall be inspected immediately after each rainfall and at least daily during prolonged rainfall.
- Close attention shall be paid to the repair of damaged bales, end runs and undercutting beneath bales.
- Necessary repairs to barriers or replacement of bales shall be accomplished promptly.
- Sediment deposits should be removed after each rainfall. Sediment deposits shall be removed when the level of deposition reaches approximately one-half the height of the barrier.
- Any sediment deposits remaining in place after the silt fence barrier is no longer required shall be pressed to conform to the existing grade, prepared and seeded.

VEGETATION ESTABLISHMENT For Urban Development Sites APPENDIX A	
-SEEDING RATES:	
-PERMANENT:	
Tall Fescue	- 30 lbs./ac. Smooth
Brome	- 20 lbs./ac.
Combined - Fescue	o 15 lbs./ac. AND
Brome	o 10 lbs./ac.
-TEMPORARY:	
Wheat or Rye	- 150 lbs./ac. (3.5 lbs. per 1,000 s.f.)
Oats	- 120 lbs./ac. (2.75 lbs. per 1,000 s.f.)
-SEEDING PERIODS:	
Fescue or Brome	- March 1 to June 1
Wheat or Rye	- August 1 to October 1
Oats	- March 15 to September 15
-MULCH RATES:	
100 lbs. per 1,000 sq. ft.	(4,356 lbs. per ac.)
-FERTILIZER RATES:	
Nitrogen	30 lbs./ac.
Phosphote	30 lbs./ac.
Potassium	30 lbs./ac.
Lime	600 lbs./ac. ENM*
* ENM = effective neutralizing material as per State evaluation of quarried rock.	

Legend

WTR	WATER METER	— UGE —	BURIED ELECTRIC
WV	WATER VALVE	— OHW —	OVERHEAD UTILITIES
FD	FIRE HYDRANT	— GAS —	BURIED GAS
YD	YARD DRAIN	— W —	BURIED WATER
CO	CLEANOUT	— FO —	BURIED FIBER OPTIC
GP	POWER POLE	— T —	BURIED TELEPHONE
GW	GUY WIRE	— SAN —	SANITARY SEWER
TREE	TREE	[]	FIBER OPTIC VAULT
BUSH	BUSH	[]	MAILBOX
TS	TREE STUMP	[]	SIGN
		[]	UIP USE IN PLACE

Benchmarks:

PROJECT ELEVATIONS UTILIZE THE NAVD 88 VERTICAL DATUM AND WERE GENERATED BY GPS OBSERVATIONS USING A CELLULAR EQUIPPED TRIMBLE RB GNSS ROVER AND TRIMBLE TS33 DATA COLLECTOR AND ARE BASED ON THE MISSOURI HIGHWAYS AND TRANSPORTATION COMMISSION GLOBAL NAVIGATION SATELLITE REAL TIME NETWORK FOR CONTINUOUS OPERATING REFERENCE STATIONS.

REFERENCE BENCHMARK: THE OBSERVED VERTICAL CHECK STATION UTILIZED IS LISTED ON WWW.NGSD.NOAA.GOV AS DESIGNATION "SC-06" WITH A PID OF AA8597 AND A PUBLISHED ELEVATION OF 529.0 (NAVD88).

DESCRIPTION:

DESCRIPTION BY MISSOURI DEPARTMENT OF NATURAL RESOURCES 1990: STATION, AZIMUTH MARKS AND REFERENCE TIES THE STATION IS LOCATED ON THE EAST SHOULDER OF THE NORTH BOUND LANE OF MISSOURI HIGHWAY 79 ABOUT 1/2 MILE NORTH OF I-70 IN ST. CHARLES COUNTY. IT IS 280 FT NORTH OF THE NORTH END OF THE RAILROAD OVERPASS AT APPROXIMATE HIGHWAY 79 STATION 53762 AND ON A LINE EXTENDED FROM THE NORTHERLY FENCE ENCLOSING THE LOADING DOCKS OF WAINWRIGHT INDUSTRIES, INC., 14.82 FT (4.52 M) SE OF A COTTON PICKER SPINDLE IN THE JOINT OF THE PAVEMENT AND SHOULDER, 14.72 FT (4.49 M) NE OF ANOTHER, 12.40 FT (3.78 M) EASTERLY OF THE JOINT BETWEEN THE PAVEMENT AND SHOULDER AND 2.06 FT (0.63 M) SOUTH OF A CARSONITE WITNESS POST THE AZIMUTH MARK, SC-06 A 2, 1994 IS ABOUT 0.3 MILE (0.5 KM) SE OF THE STATION AND ON THE WEST RIGHT-OF-WAY FOR THE I-70 NORTH OUTER ROAD EAST IT IS 57.6 FT (17.6 M) WEST OF A TRAFFIC SIGN NEAR THE END OF THE CONCRETE MEDIAN, 41.6 FT (12.7 M) WEST OF THE WEST EDGE OF PAVEMENT, 1.6 FT (0.5 M) EAST OF A RIGHT-OF-WAY MARKER, AND 2 FT (0.6 M) NORTH OF A CARSONITE WITNESS POST STATION AND AZIMUTH MARK TO REACH TO REACH THE STATION FROM THE CENTER OF I-70 EXIT 220 (MISSOURI HWY 79 AND SALT LICK RD.) GO NORTH ON HWY 79 FOR 0.5 MILES (0.8 KM) TO THE STATION SITE ON RIGHT (EAST) AS DESCRIBED. TO REACH THE AZIMUTH MARK FROM THE CENTER OF I-70 EXIT 220, GO NORTH ON HWY 79 FOR 0.25 MILES (0.40 KM) TO THE I-70 NORTH OUTER ROAD EAST (TURNER AVE), TURN RIGHT AND GO EAST FOR 0.05 MILES (0.08 KM) TO POINT WHERE OUTER ROAD EAST TURNS SOUTH, TURN RIGHT AND GO SOUTH ON NORTH OUTER ROAD EAST FOR 0.05 MILES (0.08 KM) TO POINT WHERE ROAD MAINTENANCE CHANGES FROM STATE TO COUNTY AND AZIMUTH MARK ON RIGHT AS DESCRIBED. THE 1990 AZIMUTH IS STILL IN PLACE, BUT THE LINE OF SIGHT TO THE STATION IS BLOCKED BY A BUILDING. DATE OF REPORT 6-06-1995.

SITE BENCHMARK (NAVD 88) - IRON PIPE LOCATED AT SOUTHWEST CORNER OF SUBJECT PROPERTY (ELEVATION=467.89)

Developer:

JORGE GONZALES
435 NORTH SERVICE ROAD
ST. PETERS MO, 63376
(636) 233-1187
gonz2362@gmail.com

Sheet Index:

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Development Notes:

- AREA OF TRACT: 1.12 ACRES (PARCEL 1)
0.11 ACRES (PARCEL 2)
- THIS PROPERTY IS CURRENTLY LISTED UNDER THE FOLLOWING PARCEL LOCATOR NUMBER IN THE ST. CHARLES COUNTY ASSESSORS OFFICE: 2-0111-1808-00-0025.000000
- EXISTING ZONING: I-1 LIGHT INDUSTRIAL DISTRICT (CITY OF ST. PETERS)
- PROPOSED USE: OFFICE/STORAGE
- THE REQUIRED HEIGHT AND BUILDING SETBACKS ARE AS FOLLOWS:
MINIMUM FRONT YARD: 30 FEET
MINIMUM SIDE YARD: 10 FEET
MINIMUM REAR YARD: 15 FEET, OR 40 FEET IF ADJACENT TO RESIDENTIAL BUILDING HEIGHT: 45 FEET
- PROPERTY OWNER: JORGE GONZALES
435 NORTH SERVICE ROAD
ST. PETERS MO, 63376
- SITE IS SERVED BY:
AMEREN UE ELECTRIC COMPANY (636) 387-6633
SPIRE GAS COMPANY (314) 658-5417
CITY OF ST. PETERS WATER (636) 447-6600
CITY OF ST. PETERS SEWER (636) 447-6600
CENTURYLINK (636) 322-7705
CHARTER COMMUNICATIONS (636) 387-6632
CENTRAL COUNTY FIRE & RESCUE (636) 970-9700
- TO DETERMINE THE LOCATION OF FLOOD DESIGNATIONS AND BOUNDARIES, WE DETERMINED THE HORIZONTAL LOCATION OF THIS TRACT OF LAND BY SCALING THE FOLLOWING FLOOD INSURANCE RATE MAP (FIRM): CITY OF ST. PETERS, ST. CHARLES COUNTY, MISSOURI AND INCORPORATED AREAS, MAP NUMBER 29183C0242C, WITH AN EFFECTIVE DATE OF JANUARY 20, 2016.

COMMUNITY: CITY OF ST. PETERS
NUMBER: 290319
PANEL: 0242
SUFFIX: G

BY EXPRESS REFERENCE TO THIS MAP AND ITS LEGEND, THIS TRACT OF LAND IS INDICATED TO BE WITHIN THE FOLLOWING ZONES:
• ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
THE EVALUATION PROVIDED IN THIS NOTE IS RESTRICTED TO SIMPLY INDICATING THE APPARENT HORIZONTAL LOCATION OF THE PROPERTY WITH RESPECT TO THE FEATURES DISPLAYED ON THE MAP. NO FIELD STUDY OF THE DRAINAGE CHARACTERISTICS TO WHICH THIS PROPERTY MAY BE SUBJECT TO HAS BEEN CONDUCTED AND NO REPRESENTATION CONCERNING THE INSURABILITY OF THIS PROPERTY OR THE POTENTIAL SUSCEPTIBILITY OF THIS PROPERTY TO FLOODING HAS BEEN MADE. BAX ENGINEERING MAKES NO REPRESENTATION CONCERNING THE ACCURACY OF THE ABOVE REFERENCED FIRM MAP WHICH INCLUDES A NOTE THAT "THIS MAP IS FOR USE IN ADMINISTERING THE NATIONAL FLOOD INSURANCE PROGRAM. IT DOES NOT NECESSARILY IDENTIFY ALL AREA SUBJECT TO FLOODING, PARTICULARLY FROM LOCAL DRAINAGE SOURCES OF SMALL SIZE."

THIS FLOOD ZONE DETERMINATION AND THE FLOOD ZONE LIMITS SHOWN HEREON, IF ANY, WERE MADE USING FEMA INFORMATION WHICH WAS AVAILABLE ON THIS DATE.

- SITE COVERAGE CALCULATIONS:
TOTAL AREA = 53,783 SQ. FT. (1.23 ACRES)
BUILDING = 2,695 SQ. FT. = 5%
GRAVEL & PAVEMENT = 11,930 SQ. FT. = 22%
GREEN SPACE = 39,158 SQ. FT. = 73%
- DIFFERENTIAL RUNOFF
EXISTING: BUILDING & PAVEMENT = 0.10 ACRES @ 3.54 = 0.35 CFS
GRAVEL = 0.20 ACRES @ 3.15 = 0.63 CFS
GRASS = 0.93 ACRES @ 1.70 = 1.58 CFS
TOTAL EXISTING RUNOFF = 2.56 CFS

- PROPOSED: BUILDING & PAVEMENT = 0.32 ACRES @ 3.54 = 1.13 CFS
GRASS = 0.91 ACRES @ 1.70 = 1.55 CFS
TOTAL PROPOSED RUNOFF = 2.68 CFS
- TOTAL DIFFERENTIAL = 2.68 CFS - 2.56 CFS = 0.12 CFS INCREASE RUNOFF
NO STORM WATER DETENTION IS REQUIRED.

- PARKING CALCULATIONS:
OFFICE - 3.3 SPACES PER 1,000 SQ. FT. GROSS FLOOR AREA
169 SQ.FT. (13'x13') OFFICE SPACE = 1 PARKING SPACE REQUIRED

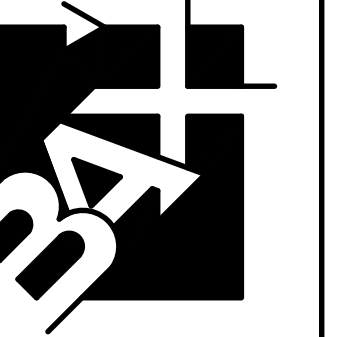
- STORAGE/WAREHOUSE - 0.5 SPACES PER 1,000 SQ. FT. GROSS FLOOR AREA
2,343 SQ.FT. STORAGE AREA = 1 PARKING SPACE REQUIRED
- TOTAL PARKING REQUIRED = 2 SPACES
TOTAL PARKING PROVIDED = 7 SPACES (INCLUDES 1 ACCESSIBLE SPACES)

- LANDSCAPE:
STREET TREE FRONTAGE:
1 TREE PER 60 FT. STREET FRONTAGE = 163.91' DEVELOPED FRONTAGE/60' = (2.73)-3 TREES REQUIRED.
TOTAL TREES REQUIRED = 3 TREES
TOTAL TREES PROVIDED = 3 TREES
CREDITS:
TOTAL SITE AREA-53,783 SQ.FT.
OPEN SPACE-51,269 SQ.FT.=95% (10% CREDITS REQUIRED=5,378 CREDITS NEEDED)
EXISTING TREES ON SITE = 6,200 CREDITS (SEE ATTACHED DOCUMENT ITEMIZING EXISTING TREES)
PROPOSED STREET TREES = 600 CREDITS
TOTAL CREDITS REQUIRED = 5,378
TOTAL CREDITS PROVIDED = 6,800

- ALL SIGNS SHALL REQUIRE A SEPARATE PERMIT BY THE CITY OF ST. PETERS.
- ALL SITE LIGHTING SHOWN IS FOR PRESENTATION ONLY AND EXACT LOCATIONS WILL DEPEND UPON A LIGHTING LAYOUT BY A QUALIFIED LIGHTING CONSULTANT. PRIOR TO CONSTRUCTION SITE PLAN APPROVAL, A PHOTOMETRIC LIGHTING PLAN IN ACCORDANCE WITH THE CITY'S EXTERIOR LIGHTING STANDARDS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL.
- ALL BUILDING MOUNTED LIGHTS SHALL BE A DECORATIVE DOWNCAST SHADOWBOX STYLE UNLESS OTHERWISE APPROVED BY THE PLANNING DEPARTMENT.
- ALL NEW UTILITIES SHALL BE LOCATED UNDERGROUND.
- ALL HVAC AND MECHANICAL EQUIPMENT SHALL BE GROUND MOUNTED AND SCREENED PER CITY OF ST. PETERS ZONING CODE.
- ALL CONSTRUCTION METHODS AND PRACTICES SHALL CONFORM WITH OSHA STANDARDS.
- ALL CONSTRUCTION AND MATERIALS USED SHALL CONFORM TO CURRENT CITY OF ST. PETERS STANDARDS.
- SITE SHALL COMPLY WITH CHAPTER 550 STORM WATER REGULATIONS.
- SITE SHALL COMPLY WITH CHAPTER 530 GRADING REGULATIONS.
- SITE SHALL COMPLY WITH CHAPTER 535 TREE AND LANDSCAPE REGULATIONS.
- ADDITIONAL PERMITS MAY BE REQUIRED PRIOR TO DEVELOPMENT AND/OR CONSTRUCTION BY THE CITY ENGINEERING DEPARTMENT OR THE CITY BUILDING DEPARTMENT. PLEASE CONTACT THOSE DEPARTMENTS TO OBTAIN ANY ADDITIONAL PERMIT INFORMATION THAT WILL BE REQUIRED PRIOR TO DEVELOPMENT.
- PLEASE CONTACT CENTRAL COUNTY FIRE & RESCUE TO DETERMINE ANY ADDITIONAL REQUIRED APPROVALS (FIRE DISTRICTS ARE INDEPENDENT AGENCIES AND NOT UNDER THE JURISDICTION OF THE CITY).
- ANY EXISTING WELLS ON SITE ARE TO BE REMOVED/ABANDONED PER MISSOURI DNR AND CITY OF ST. PETERS SPECIFICATIONS.
- THIS PROPERTY CONSISTS OF TWO PARCELS. IF THERE IS EVER ANY FUTURE DEVELOPMENT, A CONSOLIDATION PLAT MAY BE REQUIRED TO COMBINE THE TWO PARCELS INTO ONE.
- ALL RETAINING WALLS SHALL REQUIRE A SEPARATE PERMIT BY THE CITY OF ST. PETERS BUILDING DEPARTMENT.
- FLYING DIRT AND DUST SHALL BE CONTROLLED BY WATERING METHODS.
- CONTRACTOR SHALL PROVIDE A PROPOSED HAUL ROUTE FOR THE CUT MATERIAL WHICH MUST BE APPROVED BY THE CITY PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.
- THE CITY ENGINEER HAS GIVEN THIS DEVELOPMENT A WAIVER FROM PROVIDING WATER QUALITY AND DETENTION SINCE THE DIFFERENTIAL RUNOFF FOR THE SITE IS LESS THAN 1 CFS AND THE DISTURBED AREA IS LESS THAN 1 ACRE.
- ALL CONTRACTORS AND SUBCONTRACTORS MUST HAVE A VALID ST. PETERS BUSINESS LICENSE.
- ALL DRIVING AND PARKING SHALL BE ON A PAVED SURFACE.
- ALL OUTSIDE STORAGE OF MATERIALS, EQUIPMENT, VEHICLES AND TRAILERS MUST BE ON A PAVED SURFACE.
- ALL OUTSIDE STORAGE OF MATERIALS, EQUIPMENT AND DUMPSTERS SHALL BE SCREENED FROM VIEW ON ALL SIDES.

A SET OF CONSTRUCTION PLANS FOR
JG EXTERIORS PRO
435 NORTH SERVICE ROAD
ST. PETERS, ST. CHARLES COUNTY, MO, 63376

PREPARED FOR:
JORGE GONZALES
435 NORTH SERVICE ROAD
ST. PETERS, MO, 63376
636-233-1187



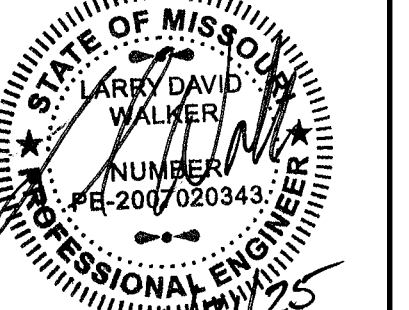
**ENGINEERING
PLANNING
SURVEYING**

221 Point West Blvd.
St. Charles, MO 63301
636-928-5552
FAX 928-1718

Box Engineering Company, Inc.
Missouri State Certificate of Authority
Engineering #000655
Missouri State Certificate of Authority
Surveying #000144

REVISIONS	
02-15-24	MODOT COMMENTS
06-04-24	CITY COMMENTS
10-10-24	CITY COMMENTS
04-03-25	CITY COMMENTS
04-21-25	CITY COMMENTS

DISCLAIMER OF RESPONSIBILITY
I hereby disclaim any responsibility for all other drawings, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural or engineering project or survey other than those authenticated by my seal.

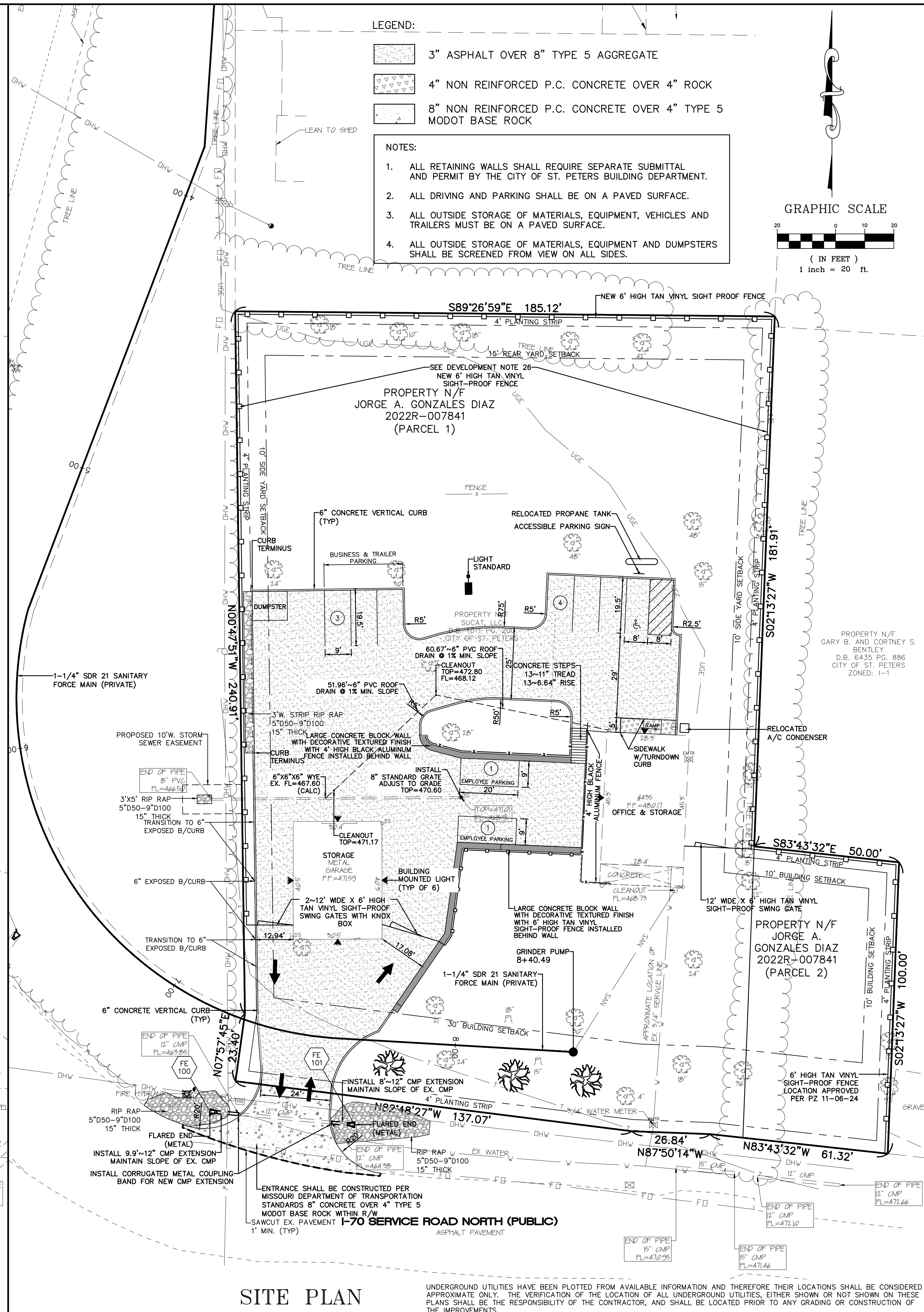
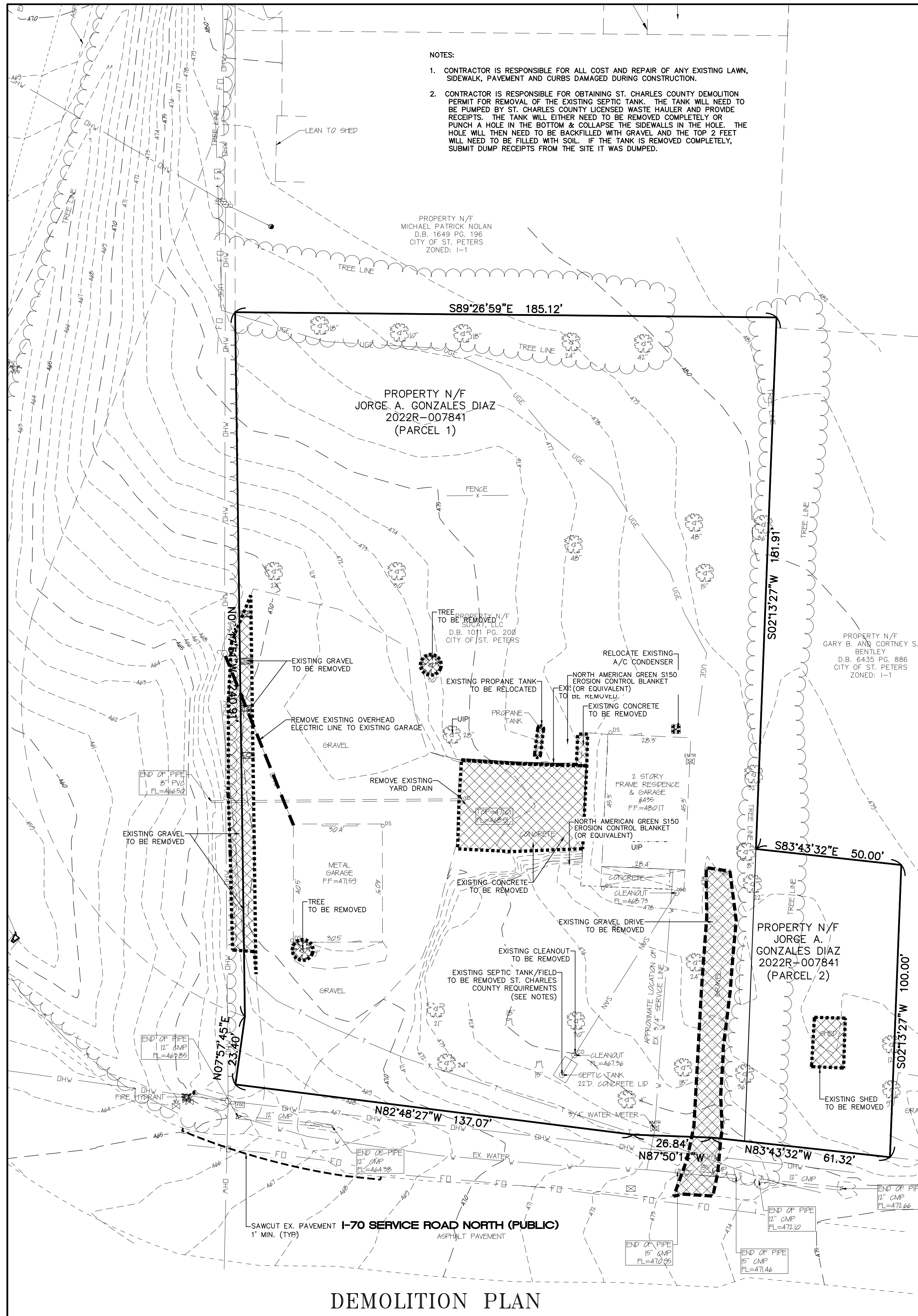


Larry D. Walker
Professional Engineer
Engineers License No. 2007020343

02-13-24	DATE
22-18700	PROJECT NUMBER
18700con.DWG	FILE NAME
BWF	DRAWN
RKC	LDW
DESIGNED	CHECKED

COVER SHEET

C-1



A SET OF CONSTRUCTION PLANS FOR
JG EXTERIORS PRO
435 NORTH SERVICE ROAD
ST. PETERS, ST. CHARLES COUNTY, MO, 63376

PREPARED FOR:
JORGE GONZALEZ
435 NORTH SERVICE ROAD
ST. PETERS, MO, 63376
636-233-1187

BAT
ENGINEERING
PLANNING
SURVEYING

221 Point West Blvd.
St. Charles, MO 63301
636-928-5552
FAX 928-1718

Box Engineering Company, Inc.
Missouri State Certificate of Authority
Engineering #000655
Missouri State Certificate of Authority
Surveying #00144

REVISIONS

02-15-24	MODOT COMMENTS
06-04-24	CITY COMMENTS
10-10-24	CITY COMMENTS
04-03-25	CITY COMMENTS
04-21-25	CITY COMMENTS

DISCLAIMER OF RESPONSIBILITY
I hereby disclaim any responsibility for all other drawings, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural or engineering project or survey other than those authenticated by my seal.

STATE OF MISSOURI
LARRY DAVID WALKER
NUMBER
PE-2007020343
PROFESSIONAL ENGINEER
04/11/25
Lorry D. Walker
Civil Engineer
Engineers License No. 2007020343

02-13-24
DATE

22-18700
PROJECT NUMBER

18700con.DWG
FILE NAME

BWF
DRAWN

RKC LDW
DESIGNED CHECKED

**DEMOLITION
PLAN &
SITE PLAN**

C-2

PLANNED URBAN DEVELOPMENT AGREEMENT
Watermark

THIS PUD DEVELOPMENT AGREEMENT (the “Agreement”) is made and entered into as of the ____ day of March, 2022 by and among the CITY OF ST. PETERS, MISSOURI, a Fourth Class City in the County of St. Charles, Missouri, and a municipal corporation organized and existing under the laws of the State of Missouri (hereinafter collectively referred to as “City”) and Bre Knight SH MO Owner, LLC (hereinafter referred to as “Owner”) and Watermark St. Peters, LLC (hereinafter referred to as “Tenant/Licensee”).

WITNESSETH:

WHEREAS, Owner is the fee simple owner of an approximately 13.245 acre tract of land legally described on Exhibit A attached hereto and incorporated herein by this reference (hereinafter referred to as the “Property”); and

WHEREAS, Owner and Tenant/Licensee are desirous of maintaining and modifying the Property for a nursing home and multiple family dwelling units; and

WHEREAS, the City and Property Owner desire to enter into an agreement setting forth Owner Under Contract’s intended development of the Property, as contemplated by the City’s Zoning and Subdivision Regulations established by Title IV. Land Use, Chapter 405 of the St. Peters City Code, along with any amendments thereto (the “Zoning Ordinance”); and

WHEREAS, the Property is zoned R-3 Multiple Family Residential District; and

WHEREAS, Property Owner and Tenant/Licensee are requesting approval of a R-3 Planned Urban Development to include multiple-family dwellings and a nursing home; and

WHEREAS, City and Property Owner desire that a Planned Urban Development, as defined and provided for by the appropriate sections of the Zoning Ordinance, be established upon the Property, and that the Property be developed in a manner consistent with the Site Plan attached hereto as Exhibit B and incorporated herein by this reference (the “Development Plan”); and

WHEREAS, City, in approving the Planned Urban Development (PUD) designation for the Property, and the Development Plan, requires that a contract be entered into for the purpose of providing for completion of the Development Plan so approved and restricting the land uses to those indicated in the Development Plan.

NOW THEREFORE, for and in consideration of the mutual covenants and agreements contained herein, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the parties hereto agree as follows:

1. Property Owner and Tenant/Licensee will continue with maintenance of the Planned Urban Development in accordance with the aforementioned Development Plan (or in accordance with a revised Development Plan, if any such be proposed by the Property Owner, or its successors or assigns, and subsequently be approved by the City, all in conformance with the then controlling sections of the Zoning Ordinance).
2. Property Owner and Tenant/Licensee will cause to be prepared and submitted to the City for its approval, all necessary plans for the installation of public streets, street lights, storm and sanitary sewers, waterlines, sidewalks, street signs and other appurtenant public structures required, if any.
3. Property Owner and Tenant/Licensee agree that construction of the public improvements will be commenced on the Property within a period of two (2) years from the date of this Agreement. In the event that such construction is not commenced on the Property within said two (2) year period, then the Development Plan approved by the Board of Aldermen, hereinafter referred to as the "Board", shall terminate and be deemed null and void unless such time period is extended by the Planning and Zoning Commission- (hereinafter referred to as the "Commission") - for due cause shown, and approved by the Board of Aldermen. Upon termination of the Development Plan, the Commission shall review any changes in the Zoning District Map approved herein. If the Commission finds said changes to no longer be appropriate, the Commission shall recommend to the Board that the map be revised in accordance with the procedures for changes and amendments.

The Property Owner and Tenant/Licensee further agree that the construction of all public improvements shall be completed within three (3) years from the start of such construction, or five (5) years from the date hereof, whichever is less, unless such periods are extended by the Commission, for due cause shown, and approved by the Board.

4. The City agrees that Property Owner (or its successors in interest) are entitled to maintain the land described in Exhibit A in conformance with the Development Plan, except that as concerns those matters not addressed therein, Property Owner will comply with the Ordinances of the City.

5. Property Owner and Tenant/Licensee agree that it will develop the Property for multiple-family dwelling uses and a nursing home only as shown on the Development Plan, to be submitted to the City consistent with the requirements of the Zoning Ordinance, and Property Owner and City further agree that if construction of the public improvements for the Property is not completed in accordance with the terms of Section 4 hereof and the aforesaid Development Plan, or such extension thereof as may be granted by the City, then the remaining undeveloped portion of the Property may not be developed nor will any building permits be issued unless and until a new Agreement is approved by the City and Property Owner, or unless the undeveloped portion of the Property is first rezoned.
6. City will issue building permits with respect to the Property in as timely a manner as practicable, or will enumerate in writing the reasons, if any, why such permits cannot be issued, so that Property Owner and Tenant/Licensee may efficiently pursue completion of the Development Plan within the time frames set forth herein.
7. Property Owner and Tenant/Licensee, having to the best of its knowledge provided City with all information required by the appropriate sections of the Zoning Ordinance pertaining to a Planned Urban Development, agrees that any information inadvertently omitted will be provided upon request, as soon as it may reasonably be obtained.
8. The uses permitted on the Property shall include multiple family dwellings and a nursing home.
9. Building setbacks shall be as follows:
 - a. The building shall comply with the following setback regulations:
 1. One hundred (100) feet from Jungermann Road.
 2. Twenty (20) feet from the north property line of the Property.
 3. Fifty (50) feet from the south property line of the Property.
 4. Twenty (20) feet from the east property line of the Property.
11. Access and Roadways:
 - a. The Property shall be accessed via an entrance from Jungermann Road as generally shown on the Site Development Plan and as approved by the City of St. Peters Engineering Department.
12. Management of stormwater shall comply with the St. Peters City Code.
13. Landscaping:
 - a. Landscaping shall be generally as approved on the Site Development Plan.
 - b. The existing tree area shall be retained as generally shown on the Site Development Plan.

14. City trash service shall serve the Property, including recycling services, until such time as not required by the City of St. Peters.
15. All electric service serving the Property shall be run underground unless otherwise waived by the City Engineer.
16. The City shall accept for dedication in accordance with City ordinances any public streets, streetlights, water, storm and sanitary sewer main lines serving the Property. Following the installation of all such public improvements on the Property by Property Owner, the City shall inspect the same and provided they conform to the plans and specifications approved by the City for the same, the City shall accept the same for dedication. The City and Property Owner shall enter into a standard escrow agreement for these public improvements whereby Property Owner shall deposit with the City a construction deposit, a sum for grading and restoration, and a maintenance deposit, all in compliance with and pursuant to Section 405.460.F of the St. Peters City Code.
17. Property Owner may, with the prior written approval of the City, assign its rights and obligations under this Agreement in connection with any conveyance of its interest in all or part of the Property to any third party who is not a signatory to this Agreement, provided that (i) any such assignee agrees to assume the Property Owner's obligations under this Agreement with respect to the Property, (ii) upon such assignment and assumption, Property Owner shall, as relates to the Property, be released from the terms hereof, and (iii) any assignment of the rights or obligations hereunder shall be in writing and shall be recorded in the records of the Office of the Recorder of Deeds of St. Charles County, Missouri. Anything to the contrary contained herein notwithstanding, this Agreement shall run with the land and shall be binding on and inure to the benefit of the parties hereto, and their successors and assigns.
18. In the event the parties hereto desire to make a non-material change to this Agreement, the City Administrator of the City shall have the power to enter into a written agreement incorporating such change into the Agreement and to bind the City thereby. No amendment or change to this Agreement shall be valid unless the same is in writing, signed by both parties.
19. If any provision of this Agreement shall, to any extent, be held invalid or unenforceable, the remainder of this Agreement shall not be affected thereby, and each provision of this Agreement shall be valid and enforceable to the fullest extent permitted by law.
20. The City hereby approves the Development Plan attached to this Agreement as Exhibit B, subject to the qualifications contained herein.

21. Property Owner and Tenant/Licensee agree that all public improvements shall be constructed to meet all applicable state and local codes, and shall comply with all of the City's applicable Ordinances and street construction standards.
22. In the event that either party hereto brings an action or proceeding for a declaration of the rights of the parties under this Agreement or for any alleged breach or default thereof, the prevailing party to such action shall be entitled to an award of all of its costs, including reasonable attorney's fees, and any court costs incurred in said action or proceeding in addition to other damages or relief awarded, regardless of whether final judgment is entered in such action or proceeding.
23. Time is of the essence with respect to this Agreement.
24. This Agreement constitutes the entire undertaking between the parties hereto and supersedes any and all prior agreements, arrangements and understandings, if any, between the parties hereto or the predecessors in interest of either of them with respect to the subject matter hereof.
25. City, Owner and Owner under Contract each represent to the other that they have the full right, power and authority to enter into this Agreement and to fully perform their obligations hereunder. Each person executing this Agreement warrants and represents that each has the authority to execute this Agreement in the capacity stated and to bind the City and Owner and Owner Under Contract, respectively, except as otherwise specifically set forth herein.

IN WITNESS WHEREOF, the parties have hereunto set their hands as of the day and year first above written.

SEAL

CITY OF ST. PETERS, MISSOURI

By: _____
William J. Malach, City Administrator

Attest:

Lisa L. Schroeder, City Clerk

STATE OF MISSOURI)
) ss.
COUNTY OF ST. CHARLES)

On this _____ day of _____, 2026, before me appeared William J. Malach, City Administrator, to me personally known, who, being by me duly sworn, did say that he is the City Administrator of the City of St. Peters, Missouri, and that the seal affixed to the foregoing instrument is the seal of said City, and that said instrument was signed and sealed in behalf of said City, by authority of its Board of Aldermen; and said City Administrator acknowledged said instrument to be the free act and deed of said City.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal in the County and State the day and year first above written.

Notary Public

My Commission Expires:

OWNER:

BRE KNIGHT SH MO OWNER, LLC

By:

STATE OF MISSOURI)
) SS
COUNTY OF ST. LOUIS)

On this _____ day of _____, 2026 before me personally appeared _____, to me personally known, who, being by me duly sworn, did say that he/she is a member of BRE KNIGHT SH MO OWNER, LLC , a Delaware limited liability corporation, and that said instrument was signed on behalf of said limited liability company; and said _____ acknowledged said instrument to be the free act and deed of said limited liability company.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal in the County and State the day and year first above written.

Notary Public

My Commission Expires:

TENANT/LICENSEE:

WATERMARK ST. PETERS, LLC

By: David Barnes

STATE OF MISSOURI)
) SS
COUNTY OF ST. LOUIS)

On this _____ day of _____, 2026 before me personally appeared David Barnes, to me personally known, who, being by me duly sworn, did say that he is a _____ of WATERMARK ST. PETERS, LLC, a Missouri limited liability corporation, and that said instrument was signed on behalf of said limited liability company; and said _____ acknowledged said instrument to be the free act and deed of said limited liability company.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal in the County and State the day and year first above written.

Notary Public

My Commission Expires:

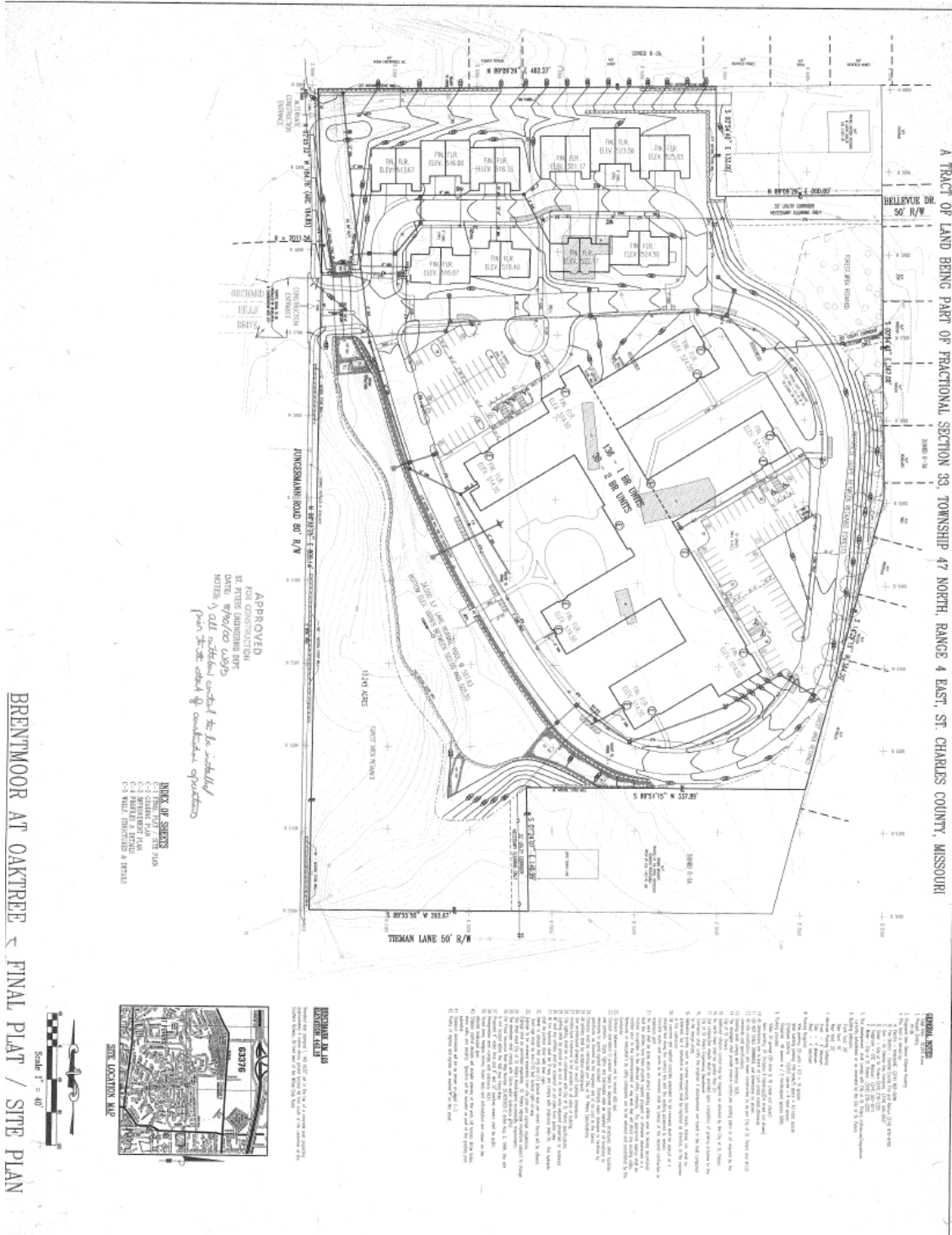
EXHIBIT A

LEGAL DESCRIPTION

A tract of land being part of Fractional Section 33, Township 47 North, Range 4 East, St. Charles County, Missouri, and being more particularly described as follows:

COMMENCING at the northwest corner of Lot 265, Cave Springs Estates Plat 4, as recorded in Plat Book 20, Page 74 of the St. Charles County Recorder's Office; thence South $01^{\circ}22'34''$ East, 134.05 feet to the POINT OF BEGINNING of the tract herein described; thence continuing South $01^{\circ}22'34''$ East, 366.95 feet to a point; thence South $14^{\circ}56'27''$ West, 364.38 feet to a point; thence South $89^{\circ}48'26''$ West, 337.06 feet to a point; thence South $01^{\circ}02'34''$ East, 149.95 feet to a point; thence South $89^{\circ}48'26''$ West, 265.67 feet to a point on the eastern line of Jungermann Road 80' feet wide; thence along said eastern line North $00^{\circ}30'54''$ East, 807.82 feet to a point of curvature; thence along curve to the left having a radius of 2011.54 feet, an arc length of 187.69 feet to a point; thence leaving said right-of-way line North $89^{\circ}12'00''$ East, 483.15 feet to a point; thence South $00^{\circ}41'54''$ East, 134.04 feet to a point; thence North $89^{\circ}12'00''$ East, 200.23 feet to the POINT OF BEGINNING and containing 13.2 acres more or less

EXHIBIT B DEVELOPMENT PLAN





USE APPROVAL APPLICATION

CITY OF ST. PETERS

Name of Applicant: Little Brazil Catering LLC

ADDRESS: 109 Hollow Creek Dr, ST PETERS, MO 63376

TELEPHONE NUMBER: FAX: E-MAIL: littlebrazilfoodtruckmo@gmail.com

Name of Property Owner: MOBAMA LLC

ADDRESS: 1212 S GANNON DR FESTUS, MO 63028

APPLICANT IS: Agent

THE FOLLOWING INFORMATION MUST BE SUBMITTED FOR EACH USE APPROVAL
--

- Location of Property: 311 COSTCO WAY, ST PETERS, MO 63376
- Written consent of the property owner (see page 2)
- Details explaining the nature of the business and activity requested for use approval. (see page 2)
- A sketch/layout of the subject site indicating the project location and details, if applicable.

Explain project details: The food truck Little Brazil Catering LLC will operate at the fixed address 311 Costco Way, Saint Peters in the private parking lot of the Hoods Home Center store, subject to authorization from the general manager, as per email sent, where we will be able to use the store's bathrooms, as well as the garbage disposal.

Little Brazil Food Truck obtained last year Use permit from the Planning and zoning commission and is seeking renewal.

Applicant's Signature: on file Date: 02-26-2026

Property Owner's Signature: on file Date: 02-26-2026

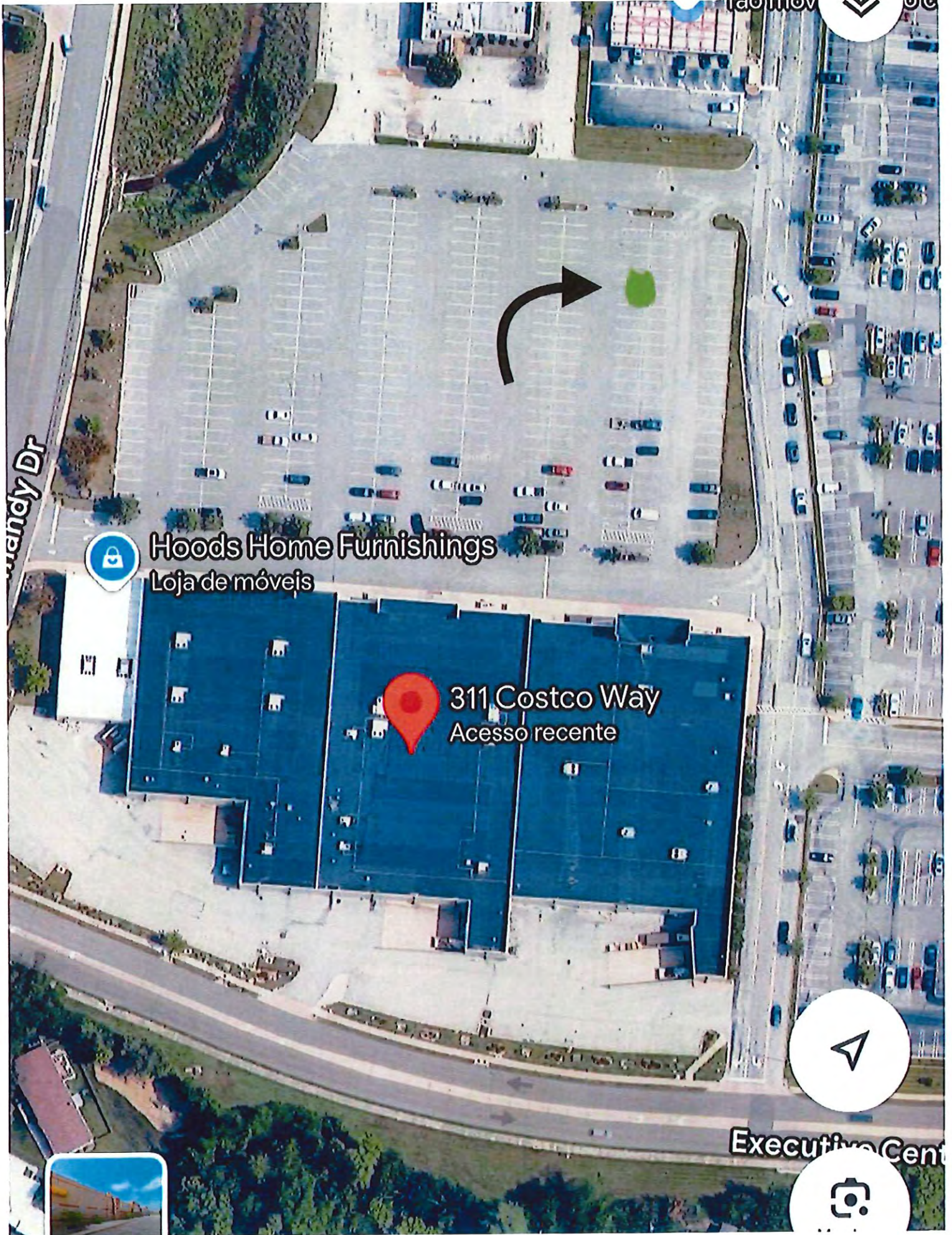
Applicant or their representative must attend the Planning and Zoning Commission Meeting to obtain use approval. The Planning and Zoning Commission typically meets on the first Wednesday of every month at 6:30 p.m. at the St. Peters Justice Center located at the intersection of Suemandy Drive and Grand Teton Drive.

For Office Use

Zoning District: C-3

Application Number: UA26-000002

Planning and Zoning Commission Meeting Date: March 4, 2026



Wandy Dr



Hoods Home Furnishings
Loja de móveis



311 Costco Way
Acesso recente



Executive Center



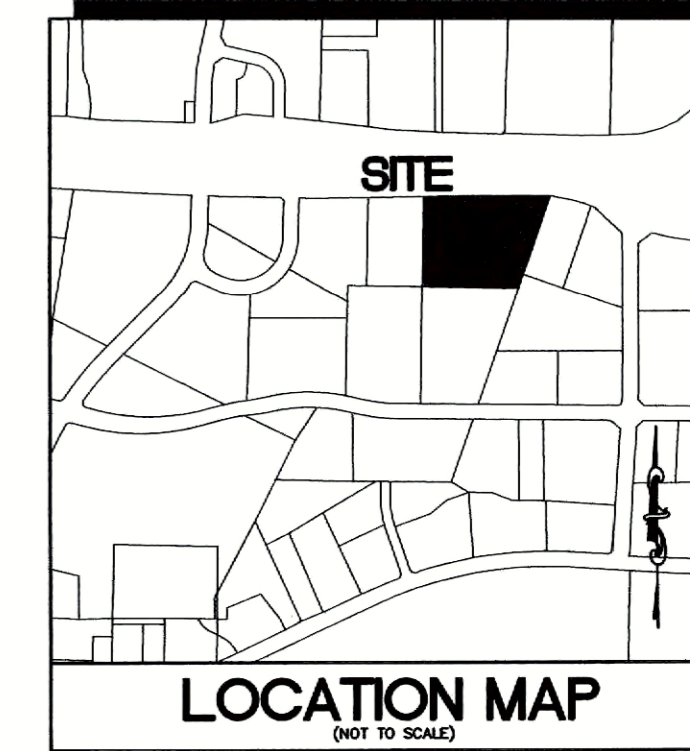


GENESIS ONE

BEING A BOUNDARY ADJUSTMENT PLAT
OF LOTS 1, AND 2 OF PIPE SUBDIVISION AS RECORDED IN PLAT BOOK 44, PAGE 224 AND LOT 1 OF
LENNOX KNOLL PLAT ONE AS RECORDED IN PLAT BOOK 20 PAGE 168 LOCATED IN
TOWNSHIP 47 NORTH, RANGE 4 EAST
CITY OF ST. PETERS, ST. CHARLES COUNTY, MISSOURI
THIS PLAT CONTAINS 6.373AC±

NOTES:

- 1) Stock and Associates Consulting Engineers, Inc. did not have the benefit of a current Title Commitment for the preparation of this plat, therefore it is not warranted that all existing easements are shown hereon.
- 2) Property is Zoned CPD By Ordinance #7718
- 3) Subject property lies within flood zone x (areas determined to be outside the 0.2% annual chance floodplain) according to the National Flood Insurance Rate Map Number 29183CO261G with an effective date of 1-20-2016.



PROPOSED LOT DESCRIPTION

LOT G1

A tract of land being part of Lot 1 and all of Lot 2, of Pipe Subdivision as recorded in Plat Book 44, Page 224, of the St Charles County Records, located in Township 47 North, Range 4 East of the Fifth Principal Meridian, City of St. Peters, St. Charles County, Missouri being more particularly described as follows:

Beginning at the northwest corner of above said Lot 2, said point also being located on the southern right-of-way line of Veterans Memorial Parkway, variable width; thence along said right-of-way line the following: North 89 degrees 10 minutes 59 seconds East, 230.17 feet and South 89 degrees 56 minutes 33 seconds East, 60.35 feet; thence departing said right-of-way line, South 00 degrees 31 minutes 44 seconds West, 478.33 feet to its intersection with the south line of said Lot 1; thence along the south lines of both Lots 1 and 2, North 89 degrees 00 minutes 09 seconds West, 294.31 feet to the southwestern corner of Lot 2; thence along the west line thereof, North 00 degrees 59 minutes 51 seconds East, 470.03 feet to the POINT OF BEGINNING.

Containing 138,742 square feet or 3.185 acres, more or less.

LOT G2

A tract of land being part of Lot 1, of Pipe Subdivision as recorded in Plat Book 44, Page 224, of the St Charles County Records, located in Township 47 North, Range 4 East of the Fifth Principal Meridian, City of St. Peters, St. Charles County, Missouri being more particularly described as follows:

Beginning at the southeast corner of said Lot 1, thence along the south line of Lot 1, North 89 degrees 00 minutes 09 seconds West, 207.29 feet; thence departing said south line the following course and distances: North 00 degrees 31 minutes 44 seconds East, 93.30 feet; South 88 degrees 53 minutes 21 seconds East, 238.62 feet and South 19 degrees 13 minutes 27 seconds West, 97.73 feet to the POINT OF BEGINNING.

Containing 20,751 square feet or 0.476 acres, more or less.

LOT G3

A tract of land being Lot 1 of Lennox Knoll Plat One as recorded in Plat Book 20 Page 168 and part of Lot 1 of Pipe Subdivision as recorded in Plat Book 44, Page 224, of the St Charles County Records, located in Township 47 North, Range 4 East of the Fifth Principal Meridian, City of St. Peters, St. Charles County, Missouri

Beginning at the northeast corner of above Lot 1 of Lennox Knoll Plat One said point also being located on the southern right-of-way line of Veterans Memorial Parkway, variable width; thence along the southeast lines of said Lot 1 and Lot 1 of Pipe Subdivision South 19 degrees 13 minutes 27 seconds West, 412.26 feet thence departing the east line of said Lot 1 of Pipe Subdivision the following: North 88 degrees 53 minutes 21 seconds West, 238.62 feet and North 00 degrees 31 minutes 44 seconds East, 305.03 feet to the intersection with above the right-of-way line of above said Veterans Memorial Parkway; thence along said right-of-way line, South 89 degrees 56 minutes 33 seconds East, 370.76 feet to the POINT OF BEGINNING.

Containing 118,123 square feet or 2.712 acres, more or less.

ORIGINAL LOT DESCRIPTIONS

LOT 1

A tract of land being all of Lot 1 of Lennox Knoll Plat One as recorded in Plat Book 20 Page 168, of the St Charles County Records, located in Township 47 North, Range 4 East of the Fifth Principal Meridian, City of St. Peters, St. Charles County, Missouri.

Beginning at the northeast corner of above Lot 1 of Lennox Knoll Plat One said point also being located on the southern right-of-way line of Veterans Memorial Parkway, variable width; thence along the eastern line of said Lot 1, South 19 degrees 13 minutes 27 seconds West, 332.94 feet to the southeast corner thereof; thence along the common lines between Lot 1 and Lot 1 of Pipe Subdivision as recorded in Plat Book 44, Page 224, of above said records the following: South 89 degrees 48 minutes 52 seconds East, 209.80 feet and North 00 degrees 08 minutes 07 seconds West, 315.38 feet to the southern right-of-way line of Veterans Memorial Parkway; thence along said right-of-way line, South 89 degrees 56 minutes 33 seconds East, 320.17 feet to the POINT OF BEGINNING.

Containing 83,428 square feet or 1.915 acres, more or less.

LOT 2

A tract of land being all of Lot 2 of Pipe Subdivision as recorded in Plat Book 44, Page 224, of the St Charles County Records, located in Township 47 North, Range 4 East of the Fifth Principal Meridian, City of St. Peters, St. Charles County, Missouri.

Commencing at the northeast corner of Lot 1 of Lennox Knoll Plat One as recorded in Plat Book 20 Page 168 of above said records, said point also being located on the southern right-of-way line of Veterans Memorial Parkway, variable width; thence North 89 degrees 56 minutes 33 seconds West, 320.17 feet to the common corner with said Lot 1 of Pipe Subdivision, said point being the POINT OF BEGINNING of the herein described tract; thence along the common lines of both Lots 1, the following: South 00 degrees 08 minutes 07 seconds East, 315.38 feet and North 89 degrees 48 minutes 52 seconds East, 209.80 feet to the southeast corner of Lot 1 of Lennox Knoll Plat One; thence along the eastern line of Lot 1 of Pipe Subdivision, South 19 degrees 13 minutes 27 seconds West, 177.04 feet to the southeast corner thereof; thence along the south and west lines of Lot 1 of Pipe Subdivision the following: North 89 degrees 00 minutes 09 seconds West, 225.58 feet; North 00 degrees 59 minutes 51 seconds East, 478.08 feet to the southern right-of-way line of Veterans Memorial Parkway; thence along said right-of-way line, South 89 degrees 56 minutes 33 seconds East, 64.97 feet to the POINT OF BEGINNING.

Containing 63,259 square feet or 1.452 acres, more or less.

LOT 2

A tract of land being all of Lot 2 of Pipe Subdivision as recorded in Plat Book 44, Page 224, of the St Charles County Records, located in Township 47 North, Range 4 East of the Fifth Principal Meridian, City of St. Peters, St. Charles County, Missouri.

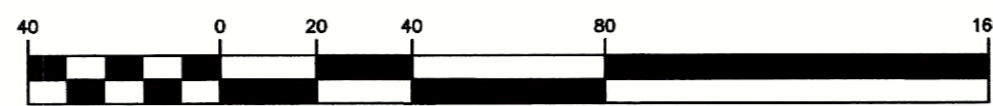
Commencing at the northeast corner of Lot 1 of Lennox Knoll Plat One as recorded in Plat Book 20 Page 168 of above said records, said point also being located on the southern right-of-way line of Veterans Memorial Parkway, variable width; thence North 89 degrees 56 minutes 33 seconds West, 385.14 feet to the northeast corner of Lot 2 said point being the POINT OF BEGINNING of the herein described tract; thence along the east line of Lot 2, South 00 degrees 59 minutes 51 seconds West, 478.08 feet the southeast corner of said Lot 2; thence along the south line of said lot, North 89 degrees 00 minutes 09 seconds West, 276.02 feet to the southwest corner thereof; thence along the west line of Lot 1, North 00 degrees 59 minutes 51 seconds East, 470.03 feet to the southern right-of-way line of Veterans Memorial Parkway; thence along said right-of-way line the following: North 89 degrees 10 minutes 58 seconds East, 230.17 feet and South 89 degrees 56 minutes 33 seconds East, 45.97 feet to the POINT OF BEGINNING.

Containing 130,930 square feet or 3.006 acres, more or less.

LEGEND	
	BENCH MARK
	FOUND IRON ROD
	FOUND IRON PIPE
	RIGHT OF WAY MARKER

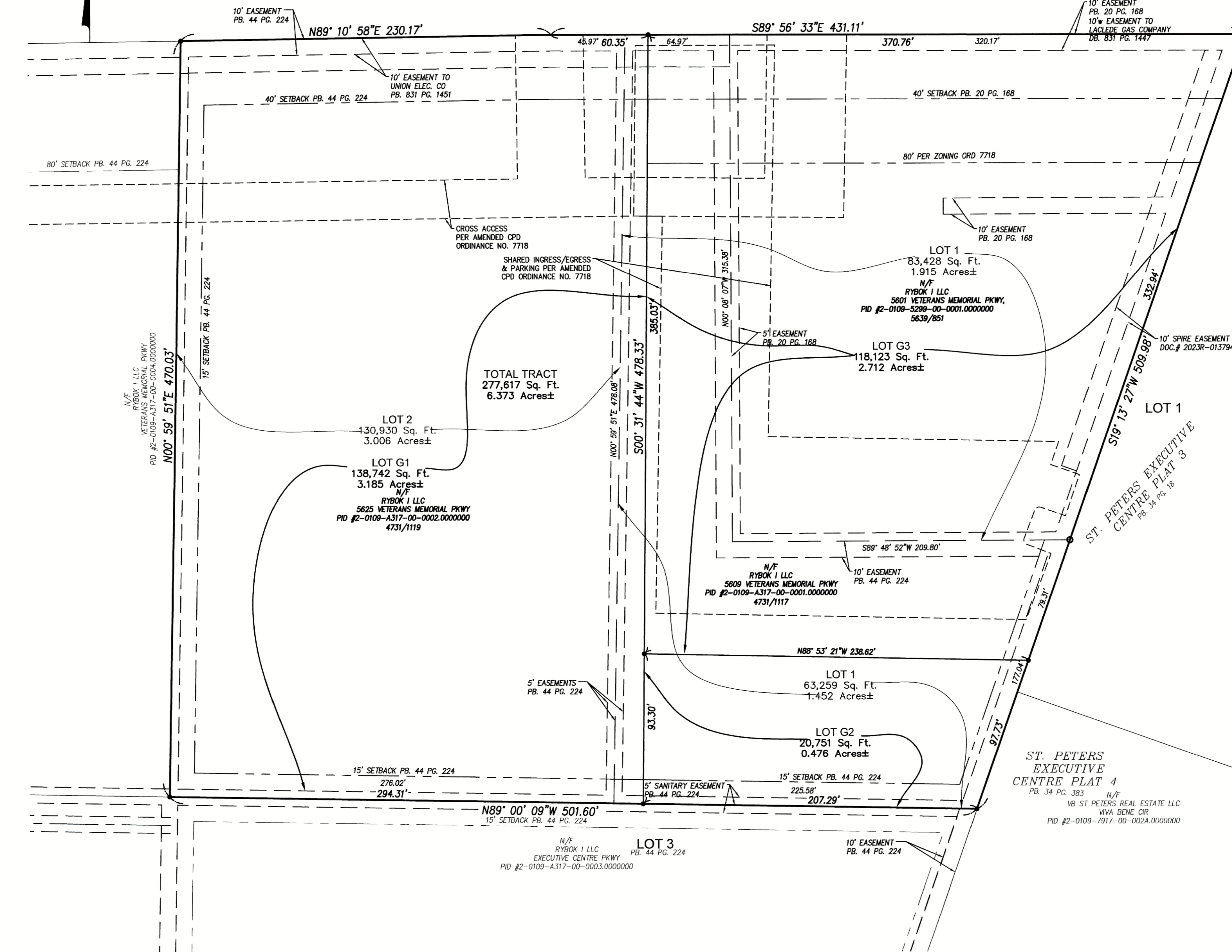
ABBREVIATIONS	
DB	DEED BOOK
FT	FEET
FND	FOUND
N/F	NOW OR FORMERLY
PB	PLAT BOOK
PG	PAGE
R.B.	RADIAL BEARING
SQ.	SQUARE
(86°W)	RIGHT-OF-WAY WIDTH

GRAPHIC SCALE



(IN FEET)
1 inch = 40 ft.

VETERANS MEMORIAL PARKWAY (V.W.)



TOTAL TRACT DESCRIPTION

A tract of land being Lot 1 of Lennox Knoll Plat One as recorded in Plat Book 20 Page 168 and Lots 1 and 2 of Pipe Subdivision as recorded in Plat Book 44, Page 224, of the St Charles County Records, located in Township 47 North, Range 4 East of the Fifth Principal Meridian, City of St. Peters, St. Charles County, Missouri

Beginning at the northeast corner of above Lot 1 of Lennox Knoll Plat One said point also being located on the southern right-of-way line of Veterans Memorial Parkway, variable width; thence along the eastern lines of said both Lots 1, South 19 degrees 13 minutes 27 seconds West, 509.98 feet to the southeast corner of Lot 1 of Pipe Subdivision, thence along the south lines of Lots 1 and 2 of Pipe Subdivision, North 89 degrees 00 minutes 09 seconds West, 501.60 feet to the southwest corner of said Lot 2; thence along the west line of Lot 2, North 00 degrees 59 minutes 51 seconds East, 470.03 feet to the southern right-of-way line of Veterans Memorial Parkway; thence along said right-of-way line the following: North 89 degrees 10 minutes 58 seconds East, a distance of 230.17 feet and South 89 degrees 56 minutes 33 seconds East, a distance of 431.11 feet to the POINT OF BEGINNING.

Containing 277,617 square feet or 6.373 acres, more or less.

Approved for recording

Liane Sargent, P.E., City Engineer Lisa L. Schroeder, City Clerk

I, Lisa Schroeder, City Clerk of St. Peters, Missouri, do hereby certify this plat of "GENESIS ONE" a Boundary Adjustment Plat of Lots 1, and 2 of Pipe Subdivision as recorded in Plat Book 44, Page 224 and Lot 1 of Lennox Knoll Plat One was approved by the City of St. Peters, Missouri

In witness whereof I have set my hand and affixed the official seal of the City of St. Peters, Missouri, this ___ day of ___, 2026.

Lisa Schroeder, City Clerk

OWNER'S CERTIFICATION

We, the undersigned owners of the tract of land platted and further described in the foregoing Surveyor's Certification, have caused the same to be surveyed and the boundaries to be adjusted in the manner shown on this plat, which plat shall hereinafter be known as:

"GENESIS ONE"

Permanent and/or semi-permanent monuments will be set at all lot corners, to aid in later recovery, within twelve months after the recording of this subdivision plat, in accordance with Division 2030, Chapter 16, 20 CSR 2030-16.090 of the Missouri Minimum Standards for Property Boundary Surveys. In addition, other survey monuments indicated on this subdivision plat, required by the subdivision ordinances of the City of St. Peters, Missouri will be set.

This plat does not create any easements.

All taxes which are due and payable against said tract of land have been paid in full.

St Charles Automotive _____

By: _____

PRINT NAME: _____

PRINT TITLE: _____

STATE OF MISSOURI)

) SS.

COUNTY OF ST. CHARLES)

N. On this ___ day of ___, 2026, before me, the undersigned, a Notary Public, BRE/JESA P.F., 5555 VETERANS MEMORIAL PARKWAY, ST. PETERS, MISSOURI, appeared _____, of RYBOK I, LLC, known to me to be the person who executed the within plat in behalf of said limited liability company and acknowledged to me that he executed the same for the purposes therein stated

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal in the County and State aforesaid on the day and year first above written.

Name: _____

Notary Public in and for said State

My commission expires: _____

The undersigned Owner and Holder of Note as secured by Deed of Trust recorded as _____ of the records of the Recorder of Deeds Office in St. Charles County, Missouri does hereby join in and approve the foregoing Record Plat as shown hereon.

IN WITNESS WHEREOF, we have hereunto set our hand and affixed our corporate seal this ___ day of ___, 20__.

By: _____

Print Name

Print Title

STATE OF MISSOURI)

) SS.

ST. CHARLES COUNTY)

On this ___ day of ___, 2026, before me appeared _____, to me personally known, who, being by me first duly sworn, did say that he/she is the _____ of _____ and that said instrument was signed in behalf of said trust company, by authority of its Board of Directors, and acknowledged said instrument to be the free act and deed of said trust company.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal in the County and State aforesaid, the day and year first above written.

Notary Public

My Commission Expires: _____

SURVEYOR'S CERTIFICATION

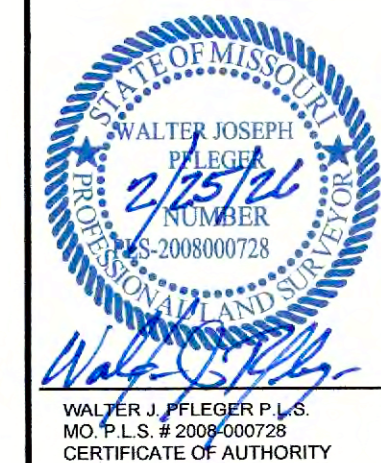
This is to certify that Stock & Associates Consulting Engineers, Inc. have, during January 2026 by order of and for the use of St. Charles Automotive executed a Property Boundary Survey and Boundary Adjustment Plat of Lots 1, and 2 of Pipe Subdivision as recorded in Plat Book 44, Page 224 and Lot 1 of Lennox Knoll Plat One as recorded in Plat Book 20 Page 168 located in Township 47 North, Range 4 East, City of St. Peters, St. Charles County, Missouri, and that the results of said survey and boundary adjustment are shown hereon. We further certify that said survey meets or exceeds the current standards for Property Boundary Surveys for "Class Urban Property" as defined in Chapter 16, Land Surveying 20 CSR 2030-16.040 of the Missouri Standards for Property Boundary Surveys, and adopted by the Missouri Board for Architects, Professional Engineers, Professional Land Surveyors, and Landscape Architects.

STOCK & ASSOCIATES CONSULTING ENGINEERS, INC.
LC 222-D

By:
Walter J. Plegler, Missouri P.L.S. No. 2008-000728

PREPARED BY:
STOCK & ASSOCIATES
Consulting Engineers, Inc.
257 Chestnutfield Business Parkway
St. Louis, MO 63003 PH: (636) 530-9100 FAX: (636) 530-9130
e-mail: general@stockassoc.com
Web: www.stockassoc.com

BOUNDARY ADJUSTMENT PLAT
"GENESIS ONE"
LOTS 1, AND 2 OF PIPE SUBDIVISION & LOT 1 OF
LENNOX KNOLL PLAT ONE, ST. PETERS, MISSOURI



REVISIONS:	
1	2/24/26 - Revised per city comments

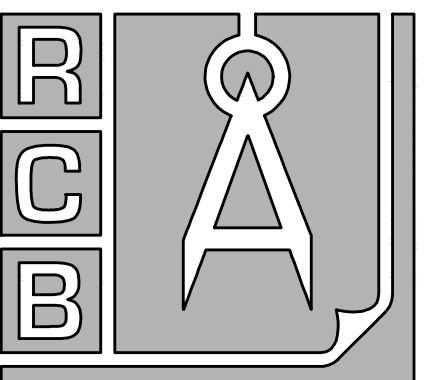
DRAWN BY:	CHECKED BY:
J.K.	W.J.P.

DATE:	JOB NO.
1/29/2026	220-8880.9

SHEET TITLE:	
BOUNDARY ADJUSTMENT PLAT	

SHEET NO.:	
1	



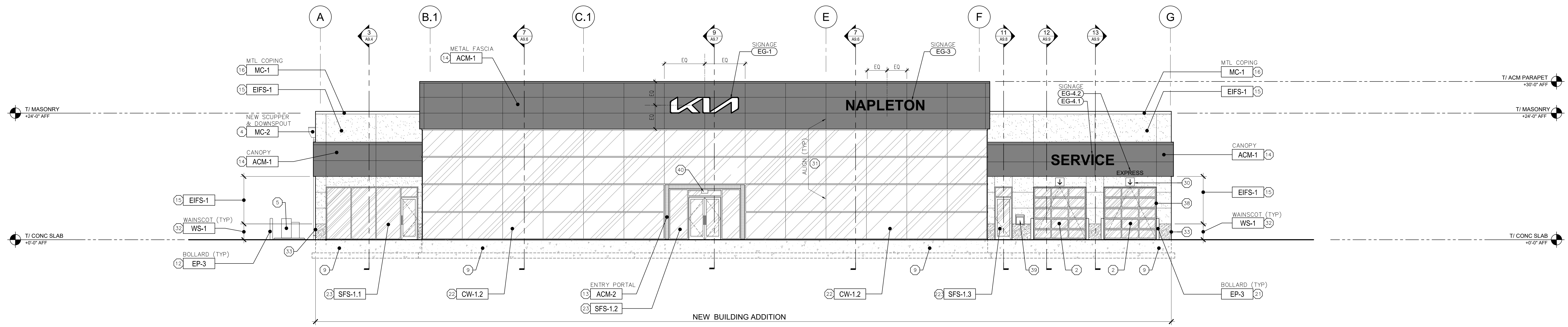


RC BOWMAN
ARCHITECTURE
SOLE PROPRIETOR
628 CIRCLE AVE
FOREST PARK IL 60130
T: 708/533-7708 F: 708/366-7905
EMAIL: rcbowman2@comcast.net
MO LIC # A-2019035622

I HEREBY CERTIFY THAT THESE DRAWINGS HAVE BEEN REVIEWED & MODIFIED UNDER MY DIRECT SUPERVISION AND THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF CONFORM WITH THE BUILDING CODES AND ORDINANCES OF ST. PETERS, MISSOURI.

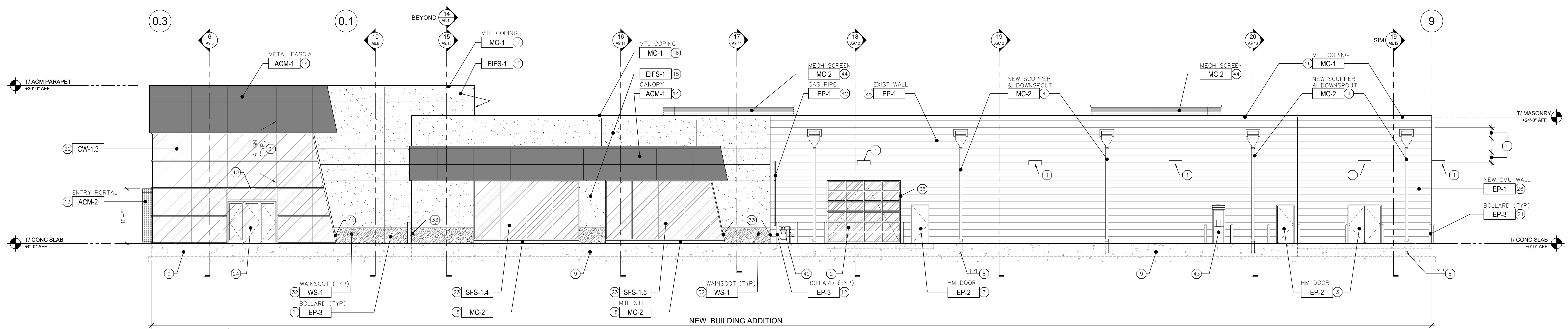
napleton.com
Automotive Group

ED NAPLETON
MID RIVERS KIA
4955 VETERANS MEMORIAL PARKWAY
ST. PETERS, MO 63376



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

0' 1' 2' 3' 4' 5' 10' 20'
SCALE



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"

0' 1' 2' 3' 4' 5' 10' 20'
SCALE

KEYNOTES:

- 1 NEW WALL LIGHT FIXTURE
- 2 NEW FULL VISION ALUMINUM OH DOOR
- 3 NEW HM DOOR AND FRAME
- 4 NEW PREFINISHED GUTTER/ SCUPPER/ DOWNSPOUT
- 5 EXISTING TRANSFORMER/ELECTRICAL SERVICE TO BE CLEANED AND PREPPED TO RECEIVE NEW PAINT FINISH
- 6 BACKSIDE OF ACM COPING FURNISHED AND INSTALLED BY KIA'S PROPRIETARY VENDOR "PATTISON SIGN GROUP" (PSG)
- 7 NEW OVERFLOW SCUPPER FLASHING AND TRIM IN NEW MASONRY PARAPET EXTENSION
- 8 UNDERGROUND CONNECTION TO STORM DRAINAGE SYSTEM - REFER TO CIVIL DWGS
- 9 NEW FOUNDATION AND FOOTINGS. REFER TO STRUCTURAL ENGINEERING DRAWINGS
- 10 EXISTING SMOOTH FACE CMU BLOCK TO REMAIN (VERIFY COURSING IN FIELD) - REFER TO WALL SECTIONS
- 11 EXISTING SMOOTH FACE CMU BLOCK TO MATCH EXISTING (VERIFY COURSING IN FIELD) - REFER TO WALL SECTIONS
- 12 EXISTING BOLLARD TO BE PREPPED FOR NEW PAINT FINISH
- 13 ACM ENTRY PORTAL FURNISHED AND INSTALLED BY KIA'S PROPRIETARY SIGNAGE VENDOR "PATTISON SIGN GROUP" (PSG) REFER TO PLANS AND WALL SECTIONS FOR ADDITIONAL INFORMATION
- 14 FASCIA/SOFFIT ACM AND COPING IS FURNISHED AND INSTALLED BY KIA'S PROPRIETARY VENDOR "PATTISON SIGN GROUP" (PSG). REFER TO WALL SECTIONS FOR ADDITIONAL INFORMATION
- 15 NEW EIFS WALL FINISH FURNISHED AND INSTALLED BY GC - REFER TO WALL SECTIONS AND FINISH SCHEDULE
- 16 NEW METAL COPING AS REQUIRED TO MATCH EXISTING BUILDING STANDARD PROFILE
- 17 EXISTING CONCRETE FOUNDATION/FOOTING- VERIFY DEPTH AND DIMENSIONS IN FIELD
- 18 NEW PREFINISHED METAL WINDOW SILL TRIM REFER TO WALL SECTIONS
- 19 NEW INSULATED SECTIONAL OH DOOR TO REPLACE EXISTING REMOVED BAY DOOR
- 20 EXHAUST PORT IN NEW OVERHEAD DOOR AT SERVICE BAY
- 21 NEW 6" CONC FILLED BOLLARD TO BE PREPPED FOR PAINT FINISH
- 22 NEW EXTERIOR CURTAIN WALL SYSTEM - REFER TO SHEET A7.X FOR ADDITIONAL INFORMATION
- 23 NEW EXTERIOR STOREFRONT SYSTEM- REFER TO SHEET A7.X FOR ADDITIONAL INFORMATION
- 24 CLEAR ANODIZED (1) SWING + (2) BI-FOLD ENTRY/CAR DOORS WITH CURTAIN WALL SYSTEM - REFER TO SHEET A7.X FOR ADDITIONAL INFORMATION
- 25 NEW SOLID PRE-FINISHED FULLY INSULATED OH ROLLING GRILL
- 26 NEW 'SPLIT FACE' MASONRY WALL TO MATCH EXISTING BUILDING STANDARD PREPPED TO RECEIVE PAINT FINISH - REFER TO WALL SECTIONS AND STRUCTURAL DRAWINGS
- 27 NEW CMU PARAPET EXTENSION TO MATCH EXISTING BUILDING STANDARD PREPPED TO RECEIVE PAINT FINISH - REFER TO WALL SECTIONS AND STRUCTURAL DRAWINGS
- 28 POWER WASH, PATCH AND PREP EXISTING MASONRY WALL AS REQUIRED TO RECEIVE NEW PAINT FINISH
- 29 NEW OVER POURED SLAB TO ACCOMMODATE TRENCH DRAINS AT DOOR ENTRY - REFER TO PLANS, SECTIONS AND PLUMBING DRAWINGS
- 30 LANE INDICATOR SIGNS FURNISHED BY OWNER AND INSTALLED BY ELECTRICAL CONTRACTOR.
- 31 VERTICAL ACM REVEAL JOINTS ARE TO ALIGN WITH GLASS JOINTS ON FRONT ELEVATION - REFER TO ELEVATIONS FOR SIDE REVEAL SPACING
- 32 STONE/TILE WAINSCOT WITH VERTICAL JOINTS TO ALIGN WITH 'EIFS' REVEALS ABOVE - REFER TO WALL SECTIONS AND DETAILS
- 33 PROVIDE METAL TRANSITION STRIP AT CORNERS AND EXPOSED ENDS OF STONE/TILE WAINSCOT - REFER TO WALL SECTIONS, DETAILS AND FINISH SCHEDULE
- 34 FINISH RETURN OF EIFS AT CORNER TRANSITION OF NEW EIFS AND CMU WALL
- 35 NEW (WHITE) PREFINISHED GUTTER AND DOWNSPOUT AT ROOF TRANSITION. REFER TO SECTIONS
- 36 EXISTING HM DOOR AND FRAME TO BE PREPPED TO RECEIVE NEW PAINT FINISH
- 37 NEW CMU INFILL TO MATCH EXISTING ADJACENT MASONRY WALL WITH NEW LINTEL AS REQUIRED TO ACCOMMODATE NEW EXTERIOR HM DOOR AND FRAME
- 38 PROVIDE CONTINUOUS TRIM AT HEAD AND JAMB OF OVERHEAD DOORS TYPICAL - REFER TO SECTIONS AND DETAILS
- 39 THRU-WALL KEY NITE DROP BOX WITH BLACK FINISH TO BE FURNISHED BY OWNER AND INSTALLED BY GC - VERIFY REQUIREMENTS WITH OWNER/MFG
- 40 EXTERIOR EMERGENCY LIGHT FIXTURE MOUNTED TO HORIZONTAL MULLION TO BE COORDINATED WITH ELECTRICIAN AND GLAZING CONTRACTOR - REFER TO CEILING PLAN FOR SPECIFICATION
- 41 NEW WHITE PREFINISHED METAL WALL PANELS. REFER TO SECTIONS
- 42 NEW GAS SERVICE TO REPLACE EXISTING REMOVED DUE TO CONFLICT WITH NEW CONSTRUCTION - VERIFY AND COORDINATE EXACT LOCATION AND REQUIREMENTS WITH ENGINEERING DRAWINGS AND UTILITY COMPANY
- 43 NEW LEVEL-3 ELECTRIC VEHICLE CHARGING STATION ON CONCRETE PAD. REFER TO ELECTRICAL PLAN - VERIFY INSTALLATION REQUIREMENTS WITH MANUFACTURER.
- 44 MECHANICAL SCREEN WITH PERFORATED CORRUGATED METAL PANELS AS REQUIRED - REFER TO ROOF PLAN AND COORDINATE WITH MECHANICAL CONTRACTOR

GENERAL NOTES:

1. EXTERIOR SIGNAGE IS TO BE FURNISHED AND INSTALLED BY KIA'S PROPRIETARY SIGN VENDOR "PATTISON SIGN GROUP." (PSG). ALL SIGNAGE WORK IS TO BE DONE UNDER SEPARATE PERMIT APPLIED FOR BY THE SIGNAGE VENDOR.
2. ALL SIGNAGE IS SHOWN FOR DESIGN INTENT, PLACEMENT AND GC COORDINATION AND IS SUBJECT TO MUNICIPAL REVIEW AND APPROVAL UNDER SEPARATE PERMIT.
3. ELECTRICAL CONTRACTOR IS TO COORDINATE ELECTRICAL REQUIREMENTS FOR EXTERIOR SIGNAGE WITH SIGNAGE VENDOR (PSG) PRIOR TO CLOSING UP WALL CAVITIES.
4. GC IS TO COORDINATE AND PROVIDE ALL BLOCKING AS REQUIRED FOR ANCHORAGE OF SIGNAGE AND GRAPHICS. GC IS TO COORDINATE WITH SIGNAGE VENDOR (PSG) PRIOR TO CLOSING UP WALL CAVITIES.
5. VERIFY LOCATION OF ALL EXISTING EXTERIOR SPEAKERS OUTLETS, HOSE BIBS AND LIGHTING. ALL THAT ARE IN CONFLICT WITH NEW CONSTRUCTION IS TO BE DISCONNECTED, CAPPED AND/OR RELOCATED AS REQUIRED. NOTIFY OWNER PRIOR TO RELOCATION.
6. OWNER TO PROVIDE AND INSTALL WHITE VINYL STREET ADDRESS TO MATCH 'KIA' FONT - VERIFY LOCATION AND REQUIREMENTS WITH MUNICIPALITY.

LEGEND

X-1	FINISH/MATERIAL TAG - REFER TO EXTERIOR FINISH DESCRIPTIONS AND SPECIFICATION ON FINISH SCHEDULE SHEET A5.2
EG-X	EXTERIOR SIGNAGE TAG - SEE TO KEYNOTES FOR DESCRIPTION. ALL EXTERIOR SIGNAGE TO BE SUBMITTED FOR SEPARATE PERMIT BY SIGNAGE CONTRACTOR
[Pattern]	INDICATES SURFACE AREA NEW BLACK ACM - REFER TO KEY NOTES, SECTIONS AND FINISH SCHEDULE FOR DETAILED INFORMATION
[Pattern]	INDICATES SURFACE AREA OF NEW CLR ANOD ALUMINUM ACM - REFER TO KEY NOTES, SECTIONS AND FINISH SCHEDULE FOR DETAILED INFORMATION
[Pattern]	INDICATES NEW SURFACE AREA OF NEW EXTERIOR 'EIFS' - REFER TO KEY NOTES, SECTIONS AND FINISH SCHEDULE FOR DETAILED INFORMATION
[Pattern]	INDICATES SURFACE AREA OF NEW EXTERIOR WAINSCOT - REFER TO KEY NOTES, SECTIONS AND FINISH SCHEDULE FOR DETAILED INFORMATION
[Pattern]	INDICATES NEW EXTERIOR SPLIT FACED CONCRETE BLOCK TO MATCH EXISTING BUILDING STANDARD

EXTERIOR SIGNAGE SCHEDULE

EG-1	FRONT 'KIA' LOGO 12'-9" W x 3'-0" H
EG-2	SIDE 'KIA' LOGO 12'-9" W x 3'-0" H
EG-3	DEALER NAME, 14'-10" W x 2'-0" H
EG-4.1	EXTERIOR 'SERVICE' SIGN 8'-3" W x 1'-6" H
EG-4.2	EXTERIOR 'EXPRESS' SIGN 2'-11" W x 6" H

EXTERIOR FINISH SCHEDULE
(REFER TO FINISH SCHEDULE ON SHEET A5.1)

ACM-1	ALUMINUM COMPOSITE METAL PANELS (ACM) MANUFACTURER: ALPOLIC COLOR: T08 BLACK
ACM-2	ALUMINUM COMPOSITE METAL PANELS (ACM) MANUFACTURER: ALPOLIC COLOR: BSX SILVER
EIFS-1	EXTERIOR INSULATION FINISH SYSTEM MANUFACTURER: DRYVIT COLOR: MATCH BM HC-169 CONVENTRY GRAY
EP-1	EPOXY PAINT: MASONRY WALL (FIELD) MANUFACTURER: BENJAMIN MOORE COLOR: HC-169 CONVENTRY GRAY FINISH: EGG SHELL
EP-2	EPOXY PAINT: METAL MANUFACTURER: BENJAMIN MOORE COLOR: HC-169 CONVENTRY GRAY FINISH: SEMI-GLOSS
EP-3	EPOXY PAINT: METAL MANUFACTURER: BENJAMIN MOORE COLOR: 2129-10 MIDNIGHT DREAM FINISH: SEMI-GLOSS
EP-4	EPOXY PAINT: MASONRY WALL (FIELD) MANUFACTURER: BENJAMIN MOORE COLOR: TO MATCH EXISTING FINISH: TO MATCH EXISTING
EP-5	EPOXY PAINT: MASONRY WALL (ACCENT STRIPE) MANUFACTURER: BENJAMIN MOORE COLOR: TO MATCH EXISTING FINISH: TO MATCH EXISTING
MC-1	NEW METAL ROOF COPING FINISH: GALVANIZED PRE-FINISHED BLACK TO MATCH EXP-3, 2129-10 MIDNIGHT DREAM
MC-2	NEW METAL FINISH - GALVANIZED PRE-FINISHED TO MATCH EXP-2, HC-169 CONVENTRY GRAY
MC-3	ROOF GUTTER/DOWNSPOUT: GALVANIZED PRE-FINISHED MANUFACTURER STANDARD WHITE
WS-1	EXTERIOR WAINSCOT: STONE / TILE - SEE EXTERIOR FINISH SCHEDULE ON SHEET A5.1
CW-1.X	CURTAIN WALL STOREFRONT SYSTEM FRONT GLAZED BUTT JOINTED WITH 1" INSULATED CLEAR GLASS IN CLEAR ANODIZED FRAMING
SFS-1.X	EXTERIOR STOREFRONT SYSTEM: 1 3/4" x 4 1/2" CLEAR ANODIZED FRAME WITH 1" INSULATED LOW E GLASS

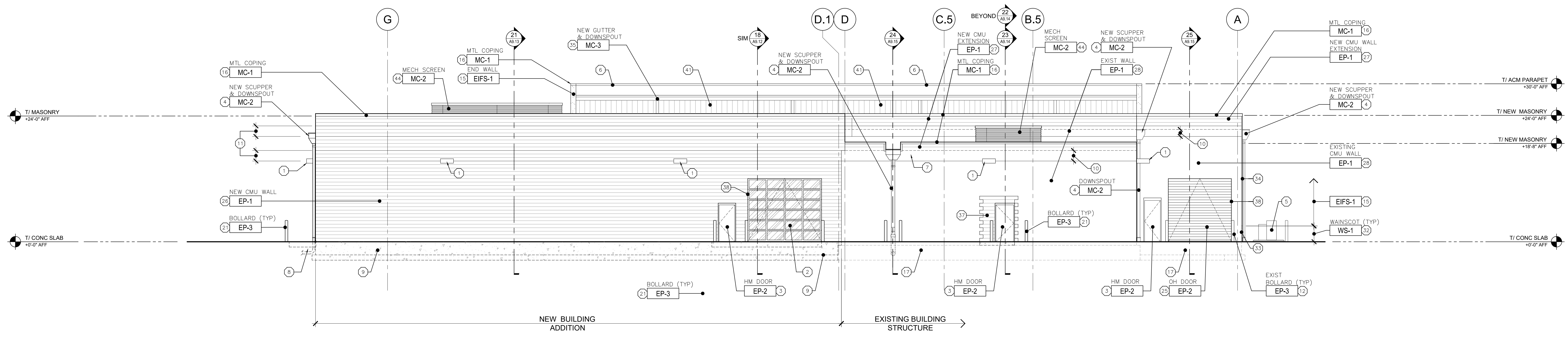
CONSTR ISSUE:
PERMIT ISSUE:
BID ISSUE:
DRAWING ISSUE HISTORY

PROJECT NO:	09-009-59
DRAWING DATE:	10-10-25
DRAWN BY:	RCB
CHECKED BY:	RCB
DRAWING SCALE:	AS NOTED

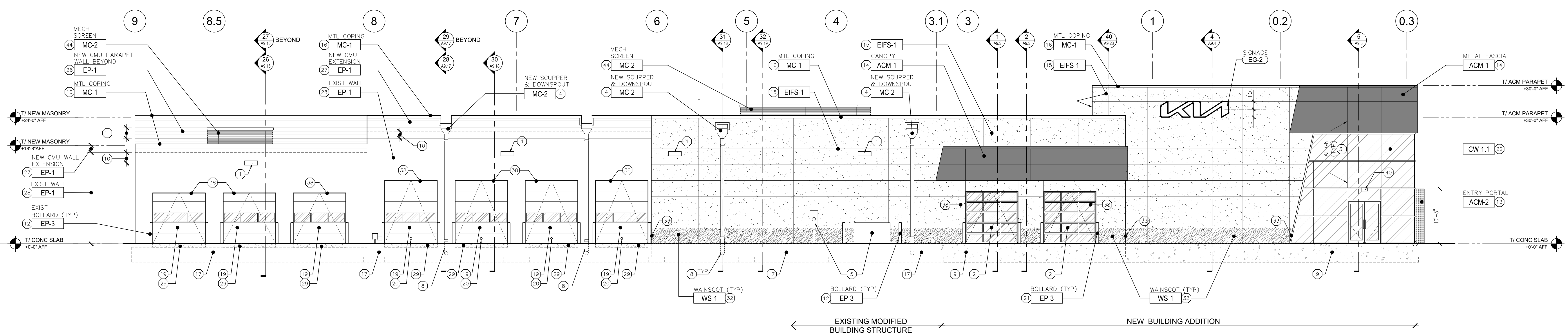
EXTERIOR ELEVATIONS
A2.0

HEREBY CERTIFY THAT THESE DRAWINGS HAVE BEEN REVIEWED & MODIFIED UNDER MY DIRECT SUPERVISION AND THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF CONFORM WITH THE BUILDING CODES AND ORDINANCES OF ST. PETERS, MISSOURI.

napleton.com
 Automotive Group
ED NAPLETON
MID RIVERS KIA
 4955 VETERANS MEMORIAL PARKWAY
 ST. PETERS, MO 63376



3 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
 SCALE: 1/8" = 1'-0"

KEYNOTES:

- 1 NEW WALL LIGHT FIXTURE
- 2 NEW FULL VISION ALUMINUM OH DOOR
- 3 NEW HM DOOR AND FRAME
- 4 NEW PREFINISHED GUTTER/ SCUPPER/ DOWNSPOUT
- 5 EXISTING TRANSFORMER/ELECTRICAL SERVICE TO BE CLEANED AND PREPPED TO RECEIVE NEW PAINT FINISH
- 6 BACKSIDE OF ACM COPING FURNISHED AND INSTALLED BY KIA'S PROPRIETARY SIGNAGE VENDOR "PATTISON SIGN GROUP" (PSG)
- 7 NEW OVERFLOW SCUPPER FLASHING AND TRIM IN NEW MASONRY PARAPET EXTENSION
- 8 UNDERGROUND CONNECTION TO STORM DRAINAGE SYSTEM - REFER TO CIVIL DWGS
- 9 NEW FOUNDATION AND FOOTINGS. REFER TO STRUCTURAL ENGINEERING DRAWINGS
- 10 EXISTING SMOOTH FACE CMU BLOCK TO REMAIN (VERIFY COURSING IN FIELD) - REFER TO WALL SECTIONS
- 11 EXISTING SMOOTH FACE CMU BLOCK TO MATCH EXISTING (VERIFY COURSING IN FIELD) - REFER TO WALL SECTIONS
- 12 EXISTING BOLLARD TO BE PREPPED FOR NEW PAINT FINISH
- 13 ACM ENTRY PORTAL FURNISHED AND INSTALLED BY KIA'S PROPRIETARY SIGNAGE VENDOR "PATTISON SIGN GROUP" (PSG) REFER TO PLANS AND WALL SECTIONS FOR ADDITIONAL INFORMATION
- 14 FASCIA/SOFFIT ACM AND COPING IS FURNISHED AND INSTALLED BY KIA'S PROPRIETARY VENDOR "PATTISON SIGN GROUP" (PSG). REFER TO WALL SECTIONS FOR ADDITIONAL INFORMATION
- 15 NEW EIFS WALL FINISH FURNISHED AND INSTALLED BY CC - REFER TO WALL SECTIONS AND FINISH SCHEDULE
- 16 NEW METAL COPING AS REQUIRED TO MATCH EXISTING BUILDING STANDARD PROFILE
- 17 EXISTING CONCRETE FOUNDATION/FOOTING- VERIFY DEPTH AND DIMENSIONS IN FIELD
- 18 NEW PREFINISHED METAL WINDOW SILL TRIM REFER TO WALL SECTIONS
- 19 NEW INSULATED SECTIONAL OH DOOR TO REPLACE EXISTING REMOVED BAY DOOR
- 20 EXHAUST PORT IN NEW OVERHEAD DOOR AT SERVICE BAY
- 21 NEW 6" CONC FILLED BOLLARD TO BE PREPPED FOR PAINT FINISH
- 22 NEW EXTERIOR CURTAIN WALL SYSTEM - REFER TO SHEET A7.X FOR ADDITIONAL INFORMATION
- 23 NEW EXTERIOR STOREFRONT SYSTEM- REFER TO SHEET A7.X FOR ADDITIONAL INFORMATION
- 24 CLEAR ANODIZED (1) SWING + (2) BI-FOLD ENTRY/CAR DOORS WITH CURTAIN WALL SYSTEM - REFER TO SHEET A7.X FOR ADDITIONAL INFORMATION
- 25 NEW SOLID PRE-FINISHED FULLY INSULATED OH ROLLING GRILL
- 26 NEW 'SPLIT FACE' MASONRY WALL TO MATCH EXISTING BUILDING STANDARD PREPPED TO RECEIVE PAINT FINISH - REFER TO WALL SECTIONS AND STRUCTURAL DRAWINGS
- 27 NEW CMU PARAPET EXTENSION TO MATCH EXISTING BUILDING STANDARD PREPPED TO RECEIVE PAINT FINISH - REFER TO WALL SECTIONS AND STRUCTURAL DRAWINGS
- 28 POWER WASH, PATCH AND PREP EXISTING MASONRY WALL AS REQUIRED TO RECEIVE NEW PAINT FINISH
- 29 NEW OVER POURED SLAB TO ACCOMMODATE SLAB MODIFICATIONS FOR INSTALL OF NEW TRENCH DRAINS AT DOOR ENTRY - REFER TO PLANS, SECTIONS AND PLUMBING DRAWINGS
- 30 LANE INDICATOR SIGNS FURNISHED BY OWNER AND INSTALLED BY ELECTRICAL CONTRACTOR.
- 31 VERTICAL ACM REVEAL JOINTS ARE TO ALIGN WITH GLASS JOINTS ON FRONT ELEVATION - REFER TO ELEVATIONS FOR SIDE REVEAL SPACING
- 32 STONE/TILE WAINSCOT WITH VERTICAL JOINTS TO ALIGN WITH 'EIFS' REVEALS ABOVE - REFER TO WALL SECTIONS AND DETAILS
- 33 FINISH RETURN OF EIFS AT CORNER TRANSITION OF NEW EIFS AND CMU WALL
- 34 NEW (WHITE) PREFINISHED GUTTER AND DOWNSPOUT AT ROOF TRANSITION. REFER TO SECTIONS
- 35 EXISTING HM DOOR AND FRAME TO BE PREPPED TO RECEIVE NEW PAINT FINISH
- 36 NEW CMU INFILL TO MATCH EXISTING ADJACENT MASONRY WALL WITH NEW LINTEL AS REQUIRED TO ACCOMMODATE NEW EXTERIOR HM DOOR AND FRAME
- 37 PROVIDE CONTINUOUS TRIM AT HEAD AND JAMB OF OVERHEAD DOORS TYPICAL - REFER TO SECTIONS AND DETAILS
- 38 THRU-WALL KEY NITE DROP BOX WITH BLACK FINISH TO BE FURNISHED BY OWNER AND INSTALLED BY CC - VERIFY REQUIREMENTS WITH OWNER/MFG
- 39 EXTERIOR EMERGENCY LIGHT FIXTURE MOUNTED TO HORIZONTAL MULLION TO BE COORDINATED WITH ELECTRICAL AND GLAZING CONTRACTOR - REFER TO GELING PLAN FOR SPECIFICATION
- 40 NEW WHITE PREFINISHED METAL WALL PANELS. REFER TO SECTIONS
- 41 NEW GAS SERVICE TO REPLACE EXISTING REMOVED DUE TO CONFLICT WITH NEW CONSTRUCTION - VERIFY AND COORDINATE EXACT LOCATION AND REQUIREMENTS WITH ENGINEERING DRAWINGS AND UTILITY COMPANY
- 42 NEW LEVEL-3 ELECTRIC VEHICLE CHARGING STATION ON CONCRETE PAD. REFER TO ELECTRICAL PLAN - VERIFY INSTALLATION REQUIREMENTS WITH MANUFACTURER.
- 43 MECHANICAL SCREEN WITH PERFORATED CORRUGATED METAL PANELS AS REQUIRED - REFER TO ROOF PLAN AND COORDINATE WITH MECHANICAL CONTRACTOR

GENERAL NOTES:

1. EXTERIOR SIGNAGE IS TO BE FURNISHED AND INSTALLED BY KIA'S PROPRIETARY SIGN VENDOR "PATTISON SIGN GROUP." (PSG). ALL SIGNAGE WORK IS TO BE DONE UNDER SEPARATE PERMIT APPLIED FOR BY THE SIGNAGE VENDOR.
2. ALL SIGNAGE IS SHOWN FOR DESIGN INTENT, PLACEMENT AND CC COORDINATION AND IS SUBJECT TO MUNICIPAL REVIEW AND APPROVAL UNDER SEPARATE PERMIT.
3. ELECTRICAL CONTRACTOR IS TO COORDINATE ELECTRICAL REQUIREMENTS FOR EXTERIOR SIGNAGE WITH SIGNAGE VENDOR (PSG) PRIOR TO CLOSING UP WALL CAVITIES.
4. CC IS TO COORDINATE AND PROVIDE ALL BLOCKING AS REQUIRED FOR ANCHORAGE OF SIGNAGE AND GRAPHICS. CC IS TO COORDINATE WITH SIGNAGE VENDOR (PSG) PRIOR TO CLOSING UP WALL CAVITIES.
5. VERIFY LOCATION OF ALL EXISTING EXTERIOR SPEAKERS, OUTLETS, HOSE BIBS AND LIGHTING. ALL THAT ARE IN CONFLICT WITH NEW CONSTRUCTION IS TO BE DISCONNECTED, CAPPED AND/OR RELOCATED AS REQUIRED. NOTIFY OWNER PRIOR TO RELOCATION.
6. OWNER TO PROVIDE AND INSTALL WHITE VINYL STREET ADDRESS TO MATCH 'KIA' FONT - VERIFY LOCATION AND REQUIREMENTS WITH MUNICIPALITY.

LEGEND

X-1	FINISH/MATERIAL TAG - REFER TO EXTERIOR FINISH DESCRIPTIONS AND SPECIFICATION ON FINISH SCHEDULE SHEET A5.2
EG-X	EXTERIOR SIGNAGE TAG - SEE TO KEYNOTES FOR DESCRIPTION. ALL EXTERIOR SIGNAGE TO BE SUBMITTED FOR SEPARATE PERMIT BY SIGNAGE CONTRACTOR
[Pattern]	INDICATES SURFACE AREA NEW BLACK ACM - REFER TO KEY NOTES, SECTIONS AND FINISH SCHEDULE FOR DETAILED INFORMATION
[Pattern]	INDICATES SURFACE AREA OF NEW CLR ANOD ALUMINUM ACM - REFER TO KEY NOTES, SECTIONS AND FINISH SCHEDULE FOR DETAILED INFORMATION
[Pattern]	INDICATES NEW SURFACE AREA OF NEW EXTERIOR 'EIFS' - REFER TO KEY NOTES, SECTIONS AND FINISH SCHEDULE FOR DETAILED INFORMATION
[Pattern]	INDICATES SURFACE AREA OF NEW EXTERIOR WAINSCOT - REFER TO KEY NOTES, SECTIONS AND FINISH SCHEDULE FOR DETAILED INFORMATION
[Pattern]	INDICATES NEW 1" INSULATED CLEAR GLASS IN STOREFRONT OR WINDOW WITH LOW-E COATING
[Pattern]	INDICATES NEW EXTERIOR SPLIT FACED CONCRETE BLOCK TO MATCH EXISTING BUILDING STANDARD

EXTERIOR SIGNAGE SCHEDULE

EG-1	FRONT 'KIA' LOGO 12'-9" W x 3'-0" H
EG-2	SIDE 'KIA' LOGO 12'-9" W x 3'-0" H
EG-3	DEALER NAME, 14'-10" W x 2'-0" H
EG-4.1	EXTERIOR 'SERVICE' SIGN 8'-3" W x 1'-6" H
EG-4.2	EXTERIOR 'EXPRESS' SIGN 2'-11" W x 6" H

EXTERIOR FINISH SCHEDULE
 (REFER TO FINISH SCHEDULE ON SHEET A5.2.)

ACM-1	ALUMINUM COMPOSITE METAL PANELS (ACM) MANUFACTURER: ALPOLIC COLOR: T08 BLACK
ACM-2	ALUMINUM COMPOSITE METAL PANELS (ACM) MANUFACTURER: ALPOLIC COLOR: BSX SILVER
EIFS-1	EXTERIOR INSULATION FINISH SYSTEM MANUFACTURER: DRYVIT COLOR: HC-169 CONVENTRY GRAY
EP-1	EPOXY PAINT: MASONRY WALL (FIELD) MANUFACTURER: BENJAMIN MOORE COLOR: HC-169 CONVENTRY GRAY FINISH: EGGSHELL
EP-2	EPOXY PAINT: METAL MANUFACTURER: BENJAMIN MOORE COLOR: HC-169 CONVENTRY GRAY FINISH: SEMI-GLOSS
EP-3	EPOXY PAINT: METAL MANUFACTURER: BENJAMIN MOORE COLOR: 2129-10 MIDNIGHT DREAM FINISH: SEMI-GLOSS
EP-4	EPOXY PAINT: MASONRY WALL (FIELD) MANUFACTURER: BENJAMIN MOORE COLOR: TO MATCH EXISTING FINISH: TO MATCH EXISTING
EP-5	EPOXY PAINT: MASONRY WALL (ACCENT STRIPE) MANUFACTURER: BENJAMIN MOORE COLOR: TO MATCH EXISTING FINISH: TO MATCH EXISTING
MC-1	NEW METAL ROOF COPING FINISH: GALVANIZED PRE-FINISHED BLACK TO MATCH EXP-3, 2129-10 MIDNIGHT DREAM
MC-2	NEW METAL FINISH - GALVANIZED PRE-FINISHED TO MATCH EXP-3, HC-169 CONVENTRY GRAY
MC-3	ROOF GUTTER/DOWNSPOUT: GALVANIZED PRE-FINISHED MANUFACTURER STANDARD WHITE
WS-1	EXTERIOR WAINSCOT: STONE / TILE - SEE EXTERIOR FINISH SCHEDULE ON SHEET A5.1
CW-1.X	CURTAIN WALL STOREFRONT SYSTEM FRONT GLAZED BUT JOINTED WITH 1" INSULATED CLEAR GLASS IN CLEAR ANODIZED FRAMING
SFS-1.X	EXTERIOR STOREFRONT SYSTEM: 1 3/4" X 4 1/2" CLEAR ANODIZED FRAME WITH 1" INSULATED LOW E GLASS

CONSTR ISSUE:
 PERMIT ISSUE:
 BID ISSUE:
 DRAWING ISSUE HISTORY

PROJECT NO:	09-009-59
DRAWING DATE:	10-10-25
DRAWN BY:	RCB
CHECKED BY:	RCB
DRAWING SCALE:	AS NOTED

EXTERIOR ELEVATIONS

A2.1

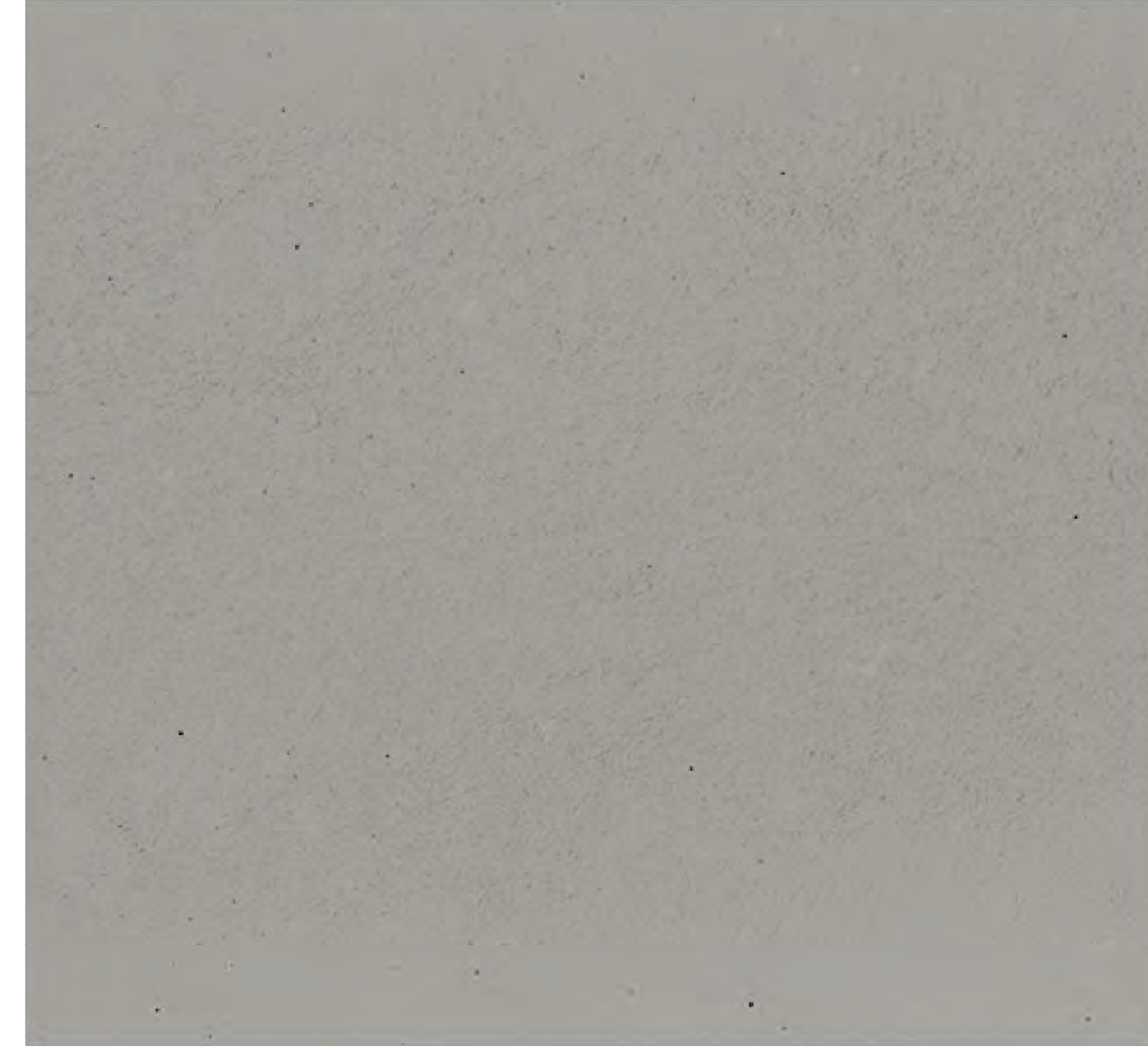
KIA EXTERIOR MATERIALS



ACM-1 ALUMINUM COMPOSITE MATERIAL



ACM-2 ALUMINUM COMPOSITE MATERIAL



EIFS-1 EXTERIOR INSULATION FINISH SYSTEM



EP-1 PAINT



KIA PROTOTYPE
DESIGN INTENT DOCUMENTS



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These drawings are for communication of design intent only. They are shown to a specific size, shape, color, feature and proportion, and not to be used as fabrication drawings.
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DATE JANUARY 2024	
REVISED CG + ND	
SCALE 1/8"=1'-0"	PROJECT NO. KIA00.11
DRAWING TITLE EXTERIOR FINISH PALETTE	
DWG NO. A-7B	

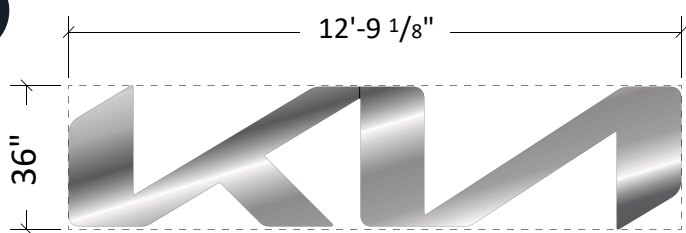
Revision Note

Information Required for Production

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It is the Customer's responsibility to ensure that the sign installation location is suitable to accept and support the installation of the signs being ordered. Notify Pattison ID immediately if further details are required.

N02



KUSWL36

Scale: 1/4"=1'
38.28 SF.

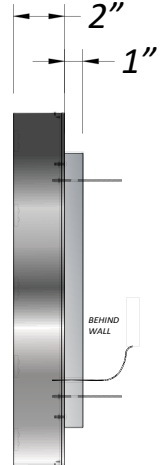
Specifications

- Faces – Fabricated Aluminum painted Kia Metallic Silver
- Returns – 2" Deep Fabricated Aluminum painted Kia Metallic Silver
- Stand-off Pedestal - Spacers = 1-1/4" Long Fabricated Aluminum painted Kia Metallic Silver
- Clear Edge Light Band - .220" Clear Acrylic mounted over .177 Clear Polycarbonate on back of cans for light transmission.
- Illumination – 7100K LED, Power Supplies are remote mounted

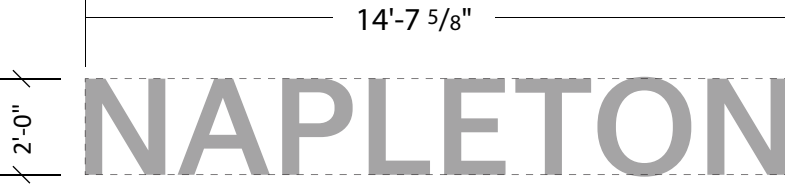
Colors

- All Aluminum is painted Kia Silver Metallic
- Edge Light Bank – Clear Acrylic
- LED – 7100K White illumination

Side View NTS



N03



KUSDNL24

Font: Kia Signature Bold

Scale: 1/4"=1'-0"
29.27 Sq. Ft.


Specifications

- KIA Font Dealer and Secondary Lettersets
- Faces – KIA Metallic Silver Perforated Vinyl with Clear Overlamine applied to .177" 2447 White Acrylic
- Face Retainer – 1" Metallic Silver Jewelite
- Returns - .040 Anodized Aluminum 3" Deep
- Illumination – 7100K LED, Power Supplies are remote mounted

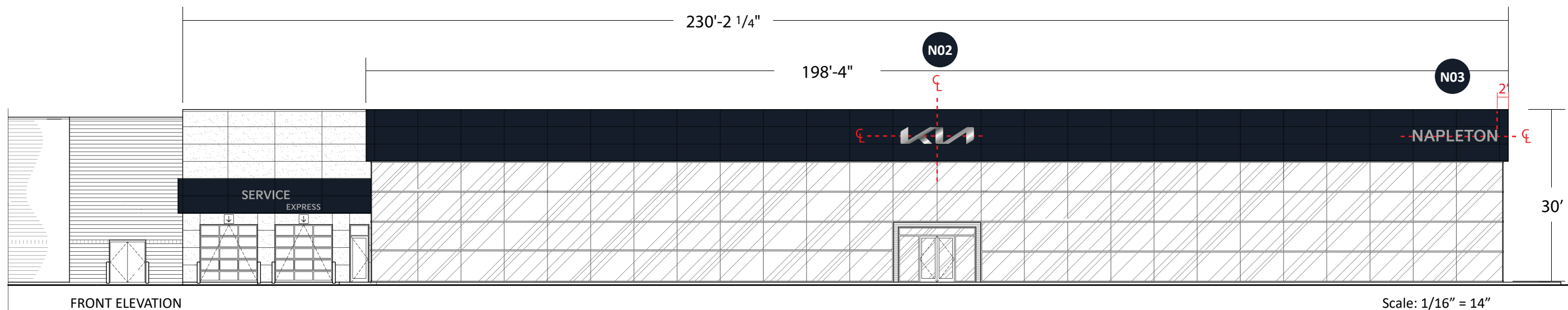
Colors

- Faces – KIA Metallic Silver
- Returns – Anodized Aluminum
- Trimcap – PSG Standard Metallic Silver
- LED – 7100K White Illumination

Side View NTS



NOTE: Dealer to provide electrical prior to installation.



Customer Approval

Signature _____

MM/DD/YYYY _____

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N04

KUSSVC18
12.34 Sq. Ft.
Font: Kia Signature Bold

Scale: 3/8"=1'-0"

Side View NTS

Specifications

- KIA Font Dealer and Secondary Lettersets
- Faces – KIA Metallic Silver Perforated Vinyl with Clear Overlamine applied to .177" 2447 White Acrylic
- Face Retainer – 1" Metallic Silver Jewelite
- Returns - .040 Anodized Aluminum 3" Deep
- Illumination – 7100K LED, Power Supplies are remote mounted

Colors

- Faces – KIA Metallic Silver
- Returns – Anodized Aluminum
- Trimcap – PSG Standard Metallic Silver
- LED – 7100K White Illumination

NOTE: Dealer to provide electrical prior to installation.

N05

KUSEXP12
5.84 Sq. Ft.
Font: Kia Signature Bold

Scale: 1/2"=1'-0"

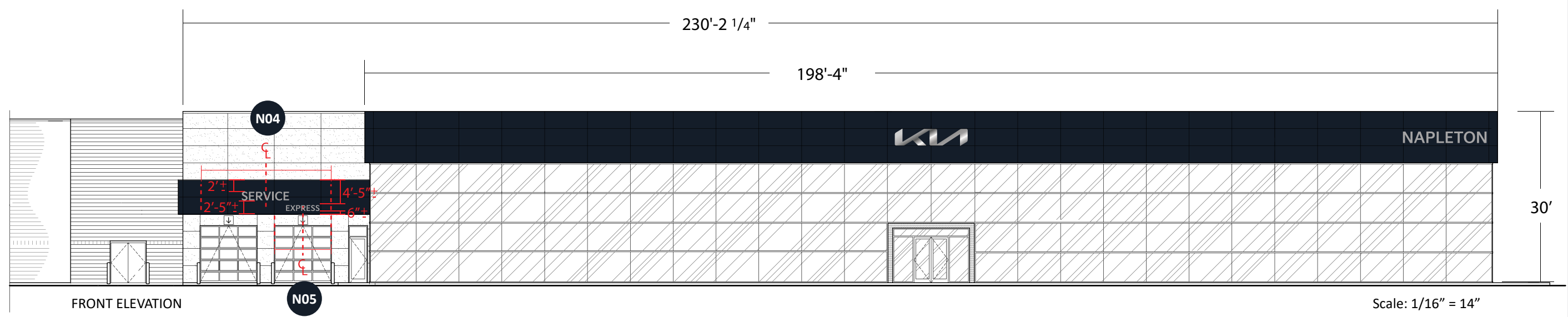
Side View NTS

Specifications

- Non-illuminated
- KIA Font Dealer and Secondary Lettersets
- Faces – KIA Metallic Silver Perforated Vinyl with Clear Overlamine applied to .177" 2447 White Acrylic
- Face Retainer – 1" Metallic Silver Jewelite
- Returns - .040 Anodized Aluminum 3" Deep

Colors

- Faces – KIA Metallic Silver



Customer Approval

Signature _____

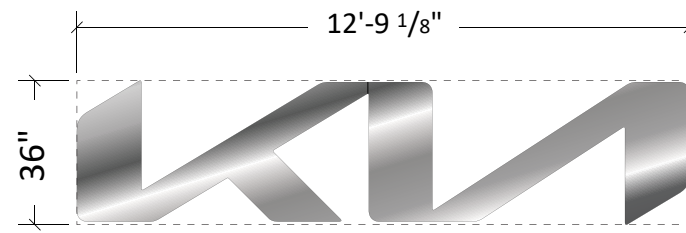
MM/DD/YYYY _____

Note: Size of signage in relation to the building is approximate. This photo mock-up is intended for location purposes only and may not accurately represent the scale of the proposed signage to the building. A site survey is required.
Any non-compliant Kia logo (i.e., window vinyl, doors/entry vinyl, parking signs, directional signs, multi-tenant signs, reader board graphics, etc.) not represented in this proposal must be updated by the Dealer to the current compliant Kia logo or must be removed.

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N06



KUSWL36

Scale: 1/4"=1'
38.28 SF.

NOTE: Dealer to provide electrical prior to installation



Side View
 NTS

Specifications

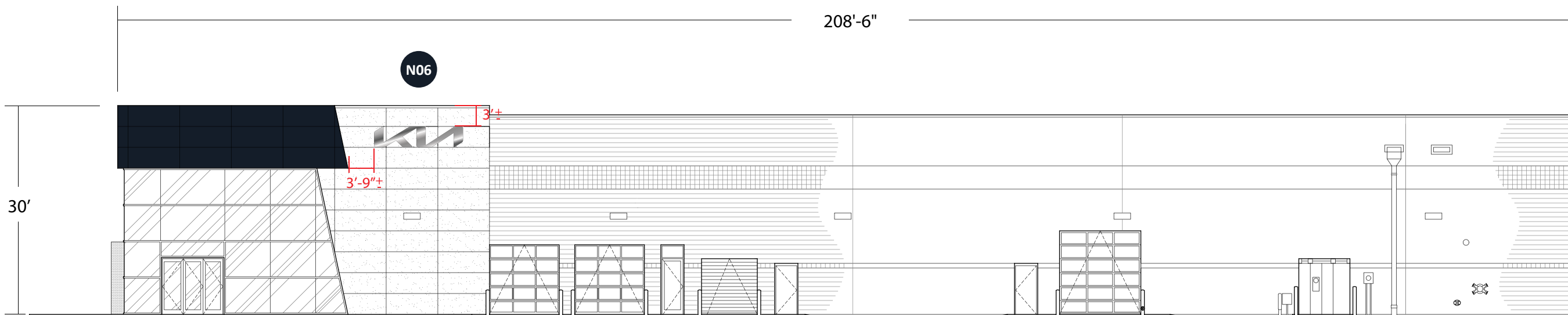
Faces – Fabricated Aluminum painted Kia Metallic Silver
 Returns – 2" Deep Fabricated Aluminum painted Kia Metallic Silver
 Stand-off Pedestal - Spacers = 1-1/4" Long Fabricated Aluminum painted Kia Metallic Silver
 Clear Edge Light Band - .220" Clear Acrylic mounted over .177 Clear Polycarbonate on back of cans for light transmission.
 Illumination – 7100K LED, Power Supplies are remote mounted

Colors

All Aluminum is painted Kia Silver Metallic
 Edge Light Bank – Clear Acrylic
 LED – 7100K White illumination

208'-6"

N06



FRONT ELEVATION

Scale: 1/16" = 1'

Customer Approval

Signature

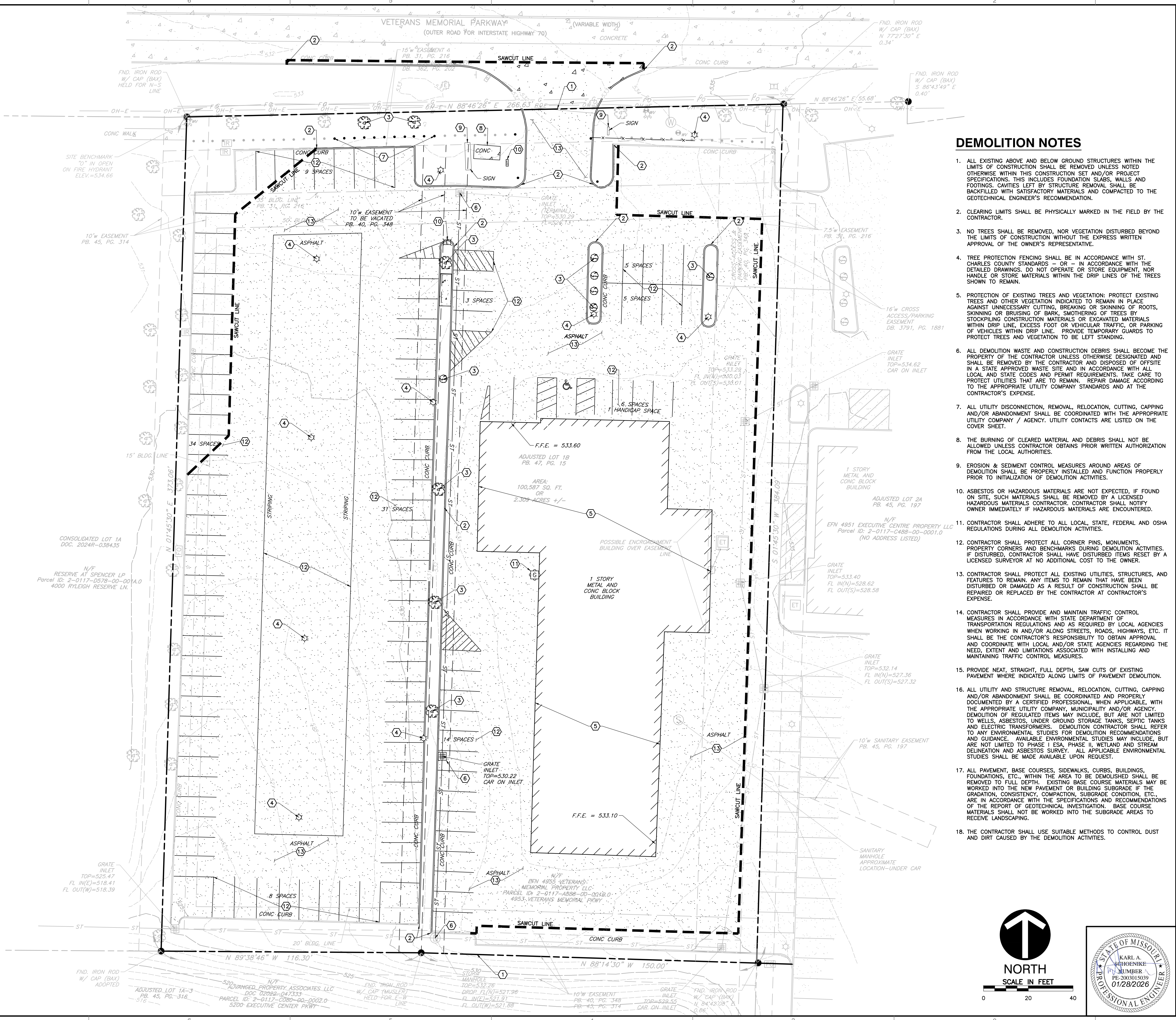
MM/DD/YYYY

LEGEND

- EXISTING PROPERTY LINE
- - - EXISTING ADJACENT PROPERTY LINE
- - - EXISTING EASEMENT
- - - EXISTING SETBACK
- - - 525 EXISTING INDEX (MAJOR) CONTOUR
- - - 526 EXISTING INTERMEDIATE (MINOR) CONTOUR
- EXISTING VERTICAL CURB
- EXISTING EDGE OF CONCRETE PAVEMENT
- EXISTING EDGE OF UNPAVED ROAD
- EXISTING ASPHALT PAVEMENT
- EXISTING CONCRETE PAVEMENT
- EXISTING STRUCTURE
- EXISTING OVERHEAD WIRE
- ST EXISTING STORM PIPE
- SAN EXISTING SANITARY SEWER LINE
- W EXISTING WATER LINE
- G EXISTING GAS LINE
- UG-E EXISTING UNDERGROUND ELECTRIC LINE
- FO EXISTING FIBER OPTIC LINE
- EXISTING FENCE LINE
- EXISTING TRAVERSE POINT
- EXISTING IRON PIN FOUND
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING LIGHT STANDARD
- EXISTING BOLLARD
- EXISTING HANDICAP PARKING SYMBOL
- EXISTING STORM MANHOLE
- EXISTING INLET SQUARE
- EXISTING SANITARY MANHOLE
- EXISTING WATER MANHOLE
- EXISTING WATER BOX (WATER VALVE)
- EXISTING FIRE HYDRANT
- EXISTING IRRIGATION CONTROL BOX
- EXISTING GAS METER
- EXISTING TREE, DECIDUOUS
- EXISTING BUSH/SHRUB
- EXISTING ELECTRIC PULL BOX
- EXISTING ELECTRIC CONTROL BOX
- EXISTING ELECTRIC METER
- EXISTING TRANSFORMER
- EXISTING ELECTRIC OUTLET UNIT
- EXISTING GUY WIRE
- EXISTING UTILITY POLE
- EXISTING TELEPHONE PULL BOX
- EXISTING FIBER OPTIC BOX/CABINET

KEY NOTES

1. EXISTING PROPERTY LINE.
2. EXISTING CONCRETE CURB TO BE REMOVED.
3. EXISTING SITE VEGETATION TO BE REMOVED.
4. EXISTING LIGHT POLE TO BE REMOVED.
5. EXISTING BUILDING TO BE REMOVED.
6. REMOVE EXISTING STORM SEWER PIPING AND STRUCTURES.
7. EXISTING BOLLARDS TO BE REMOVED.
8. EXISTING CONCRETE PAD TO BE REMOVED.
9. EXISTING SIGNAGE TO BE REMOVED.
10. EXISTING ELECTRICAL BOX TO BE REMOVED.
11. GAS METER TO BE REMOVED.
12. EXISTING PARKING LOT STRIPAGE TO BE REMOVED.
13. EXISTING PARKING LOT ASPHALT TO BE REMOVED.



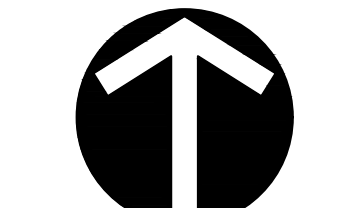
DEMOLITION NOTES

1. ALL EXISTING ABOVE AND BELOW GROUND STRUCTURES WITHIN THE LIMITS OF CONSTRUCTION SHALL BE REMOVED UNLESS NOTED OTHERWISE WITHIN THIS CONSTRUCTION SET AND/OR PROJECT SPECIFICATIONS. THIS INCLUDES FOUNDATION SLABS, WALLS AND FOOTINGS. CAVITIES LEFT BY STRUCTURE REMOVAL SHALL BE BACKFILLED WITH SATISFACTORY MATERIALS AND COMPACTED TO THE GEOTECHNICAL ENGINEER'S RECOMMENDATION.
2. CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD BY THE CONTRACTOR.
3. NO TREES SHALL BE REMOVED, NOR VEGETATION DISTURBED BEYOND THE LIMITS OF CONSTRUCTION WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
4. TREE PROTECTION FENCING SHALL BE IN ACCORDANCE WITH ST. CHARLES COUNTY STANDARDS - OR - IN ACCORDANCE WITH THE DETAILED DRAWINGS. DO NOT OPERATE OR STORE EQUIPMENT, NOR HANDLE OR STORE MATERIALS WITHIN THE DRIP LINES OF THE TREES SHOWN TO REMAIN.
5. PROTECTION OF EXISTING TREES AND VEGETATION: PROTECT EXISTING TREES AND OTHER VEGETATION INDICATED TO REMAIN IN PLACE AGAINST UNNECESSARY CUTTING, BREAKING OR SKINNING OF ROOTS, SKINNING OR BRUISING OF BARK, SMOTHERING OF TREES BY STOCKPILING CONSTRUCTION MATERIALS OR EXCAVATED MATERIALS WITHIN DRIP LINE, EXCESS FOOT OR VEHICULAR TRAFFIC, OR PARKING OF VEHICLES WITHIN DRIP LINE. PROVIDE TEMPORARY GUARDS TO PROTECT TREES AND VEGETATION TO BE LEFT STANDING.
6. ALL DEMOLITION WASTE AND CONSTRUCTION DEBRIS SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE DESIGNATED AND SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF OFFSITE IN A STATE APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR DAMAGE ACCORDING TO THE APPROPRIATE UTILITY COMPANY STANDARDS AND AT THE CONTRACTOR'S EXPENSE.
7. ALL UTILITY DISCONNECTION, REMOVAL, RELOCATION, CUTTING, CAPPING AND/OR ABANDONMENT SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY / AGENCY. UTILITY CONTACTS ARE LISTED ON THE COVER SHEET.
8. THE BURNING OF CLEARED MATERIAL AND DEBRIS SHALL NOT BE ALLOWED UNLESS CONTRACTOR OBTAINS PRIOR WRITTEN AUTHORIZATION FROM THE LOCAL AUTHORITIES.
9. EROSION & SEDIMENT CONTROL MEASURES AROUND AREAS OF DEMOLITION SHALL BE PROPERLY INSTALLED AND FUNCTION PROPERLY PRIOR TO INITIALIZATION OF DEMOLITION ACTIVITIES.
10. ASBESTOS OR HAZARDOUS MATERIALS ARE NOT EXPECTED, IF FOUND ON SITE, SUCH MATERIALS SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIALS CONTRACTOR. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY IF HAZARDOUS MATERIALS ARE ENCOUNTERED.
11. CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE, FEDERAL AND OSHA REGULATIONS DURING ALL DEMOLITION ACTIVITIES.
12. CONTRACTOR SHALL PROTECT ALL CORNER PINS, MONUMENTS, PROPERTY CORNERS AND BENCHMARKS DURING DEMOLITION ACTIVITIES. IF DISTURBED, CONTRACTOR SHALL HAVE DISTURBED ITEMS RESET BY A LICENSED SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.
13. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES, STRUCTURES, AND FEATURES TO REMAIN. ANY ITEMS TO REMAIN THAT HAVE BEEN DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT CONTRACTOR'S EXPENSE.
14. CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH STATE DEPARTMENT OF TRANSPORTATION REGULATIONS AND AS REQUIRED BY LOCAL AGENCIES WHEN WORKING IN AND/OR ALONG STREETS, ROADS, HIGHWAYS, ETC. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN APPROVAL AND COORDINATE WITH LOCAL AND/OR STATE AGENCIES REGARDING THE NEED, EXTENT AND LIMITATIONS ASSOCIATED WITH INSTALLING AND MAINTAINING TRAFFIC CONTROL MEASURES.
15. PROVIDE NEAT, STRAIGHT, FULL DEPTH, SAW CUTS OF EXISTING PAVEMENT WHERE INDICATED ALONG LIMITS OF PAVEMENT DEMOLITION.
16. ALL UTILITY AND STRUCTURE REMOVAL, RELOCATION, CUTTING, CAPPING AND/OR ABANDONMENT SHALL BE COORDINATED AND PROPERLY DOCUMENTED BY A CERTIFIED PROFESSIONAL WHEN APPLICABLE, WITH THE APPROPRIATE UTILITY COMPANY, MUNICIPALITY AND/OR AGENCY. DEMOLITION OF REGULATED ITEMS MAY INCLUDE, BUT ARE NOT LIMITED TO WELLS, ASBESTOS, UNDER GROUND STORAGE TANKS, SEPTIC TANKS AND ELECTRIC TRANSFORMERS. DEMOLITION CONTRACTOR SHALL REFER TO ANY ENVIRONMENTAL STUDIES FOR DEMOLITION RECOMMENDATIONS AND GUIDANCE. AVAILABLE ENVIRONMENTAL STUDIES MAY INCLUDE, BUT ARE NOT LIMITED TO PHASE I ESA, PHASE II WETLAND AND STREAM DELINEATION AND ASBESTOS SURVEY. ALL APPLICABLE ENVIRONMENTAL STUDIES SHALL BE MADE AVAILABLE UPON REQUEST.
17. ALL PAVEMENT, BASE COURSES, SIDEWALKS, CURBS, BUILDINGS, FOUNDATIONS, ETC., WITHIN THE AREA TO BE DEMOLISHED SHALL BE WORKED TO FULL DEPTH. EXISTING BASE COURSE MATERIALS MAY BE WORKED INTO THE NEW PAVEMENT OR BUILDING SUBGRADE IF THE GRADATION, CONSISTENCY, COMPACTION, SUBGRADE CONDITION, ETC. ARE IN ACCORDANCE WITH THE SPECIFICATIONS AND RECOMMENDATIONS OF THE REPORT OF GEOTECHNICAL INVESTIGATION. BASE COURSE MATERIALS SHALL NOT BE WORKED INTO THE SUBGRADE AREAS TO RECEIVE LANDSCAPING.
18. THE CONTRACTOR SHALL USE SUITABLE METHODS TO CONTROL DUST AND DIRT CAUSED BY THE DEMOLITION ACTIVITIES.



811 or 1-800-344-7483
<https://missouri-811.org>

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND FACILITIES, STRUCTURES, & UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS. THE UNDERGROUND FACILITIES, STRUCTURES & UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT.



NORTH
 SCALE IN FEET

0 20 40



REVISION RECORD	
NO.	DATE

ENGINEERING, SURVEYING AND LANDSCAPE ARCHITECTURE IN THE STATE OF MISSOURI. KARL A. REMIENKOWSKI WILL BE PROVIDED BY CEC SURVEYING AND LANDSCAPE ARCHITECTS OF M.P.L.C. SERVICES IN PUEBLO P.O. BOX 1111, PUEBLO, CO 81001. CEC WILL BE PROVIDED BY CEC LANDSCAPE ARCHITECTS, LLC.

KIA - ST. PETERS
 SITE PLAN
 EXISTING - DEMOLITION PLAN

DRAWING NO. **C100**

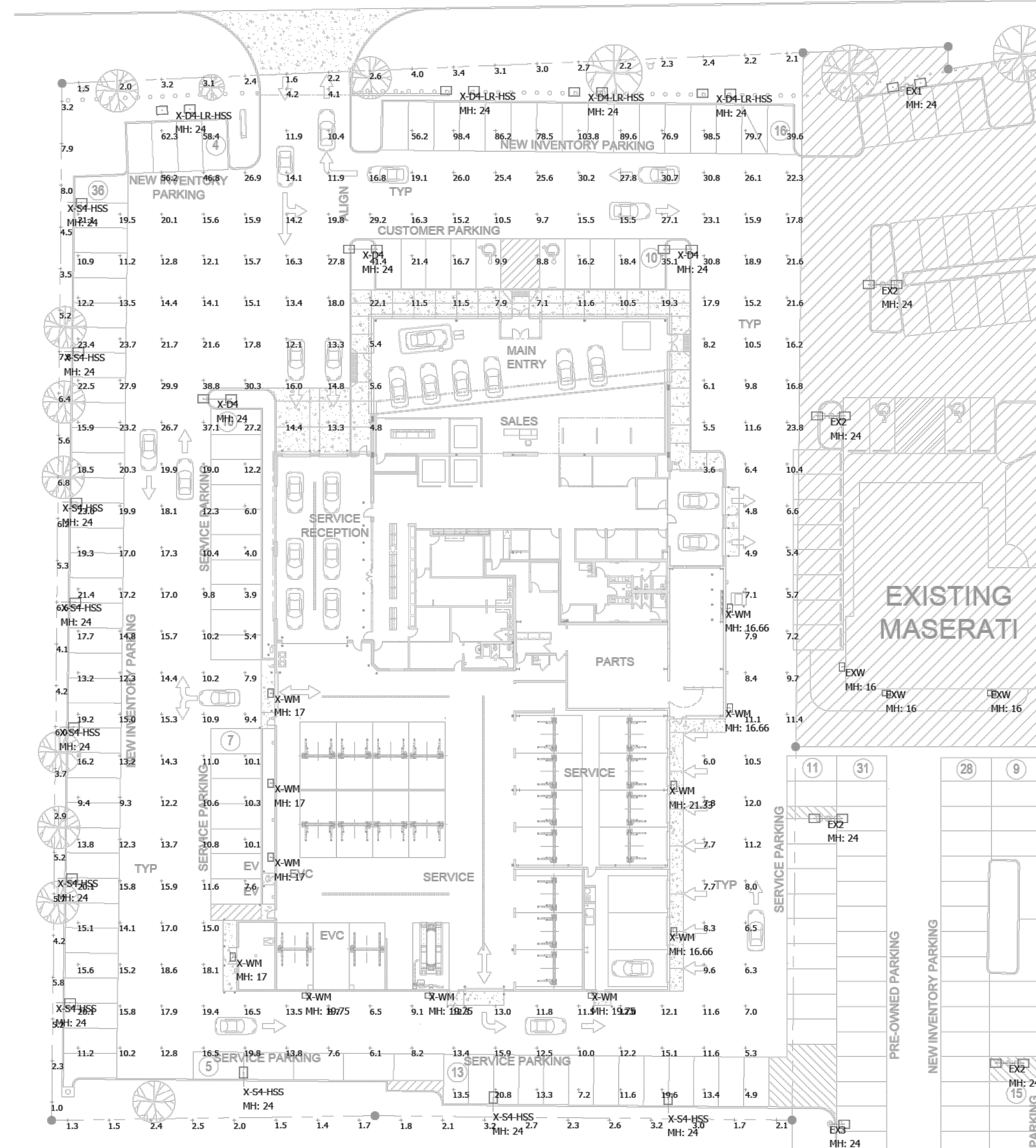
SHEET 2 OF 7

1450 Beale Street
 Suite 305
 St. Charles, MO 63303
 Ph: 314.656.4566
www.cecinc.com

Civil & Environmental
 Consultants, Inc.

A: 1300-3001-1057-9041-0000 [Imp] [DWT] - SITE PLAN [5/28/2026 09:57 AM - Schwanke, Karl] - L#: 1/28/2026 10:57 AM - Schwanke, Karl

VETERANS MEMORIAL



Symbol	Qty	Label	Arrangement	Lum. Lumens	LLF	Lum. Watts	Description
[Symbol]	3	EXW	Wall Mount	11988	0.750	82	EXISTING WALL MOUNTED FIXTURE
[Symbol]	1	EX3	Single	60145	0.750	547.1	EXISTING XLCL FIXTURE
[Symbol]	11	X-WM	Wall Mount	11988	0.900	82	XWM-FT-LED-12L-50
[Symbol]	4	EX2	Back-Back	59153	0.750	546.8	XLCL-5-LED-HO-CW
[Symbol]	1	EX1	Twin	59061	0.750	532.5	EXISTING XLCL FIXTURES
[Symbol]	4	X-D4-LR-HSS	Twin	55330	0.900	532.5	XLCL-FTA-LED-HO-CW-HSS
[Symbol]	3	X-D4	Back-Back	60145	0.900	547.1	XLCL-FT-LED-HO-CW
[Symbol]	10	X-S4-HSS	Single	41895	0.900	543.8	XLCL-FT-LED-HO-CW-HSS

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Property Line	Illuminance	Fc	3.48	8.0	1.0	3.48	8.00
Parking Lot Paved Areas & Drives - Overall	Illuminance	Fc	18.04	103.8	3.6	5.01	28.83
Bottom & Right Side Of Bldg	Illuminance	Fc	10.32	23.8	3.6	2.87	6.61
Customer Parking	Illuminance	Fc	18.07	35.1	8.8	2.05	3.99
Front Row	Illuminance	Fc	80.74	103.8	39.6	2.04	2.62
New Inventory Left Side Parking	Illuminance	Fc	17.16	27.9	9.3	1.85	3.00
Service Parking	Illuminance	Fc	9.51	27.2	3.9	2.44	6.97

LIGHTING NOTES:
 - Mounting Height = 22' Pole / 2' Base
 - Light Loss Factor = 0.90
 - Footcandle Values Calculated @ Grade
 - Reflectance Values - 80/50/20 (office spaces)
 50/30/20 (warehouse areas)

National Lighting Vendor:
 For pricing and technical assistance contact:
 Rob Thomson of CBMC INC, tel#
 317-828-4119, rthomson@cbmcinc.com

All electrical work shall comply with National, State, and Local codes including and not limited to the National Electric Code, NFPA 101 Life Safety Code, ASHREA and /or IECC Energy Codes.
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CBMC LIGHTING SOLUTIONS
 5855 KOPETSKY DR. SUITE G. | INDIANAPOLIS, IN 46217
 317-780-8350 | WWW.CBMCINC.COM

SEE MORE

This lighting pattern represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with IESNA approved methods. Actual performance of any manufacturer's luminaire may vary due to variation in electrical voltage, tolerance in lamps and LED lumen package, location adjustments, and other variable field conditions.
 Contractor to check and verify all dimensions on site before commencing any work shown.

Mid Rivers Kia

SITE LAYOUT
 Scale: 1" = 30' Drawing No: LP1
 Date: 1/8/26 Project No:
 Drawn By: SJM
CB28928-SITE-2



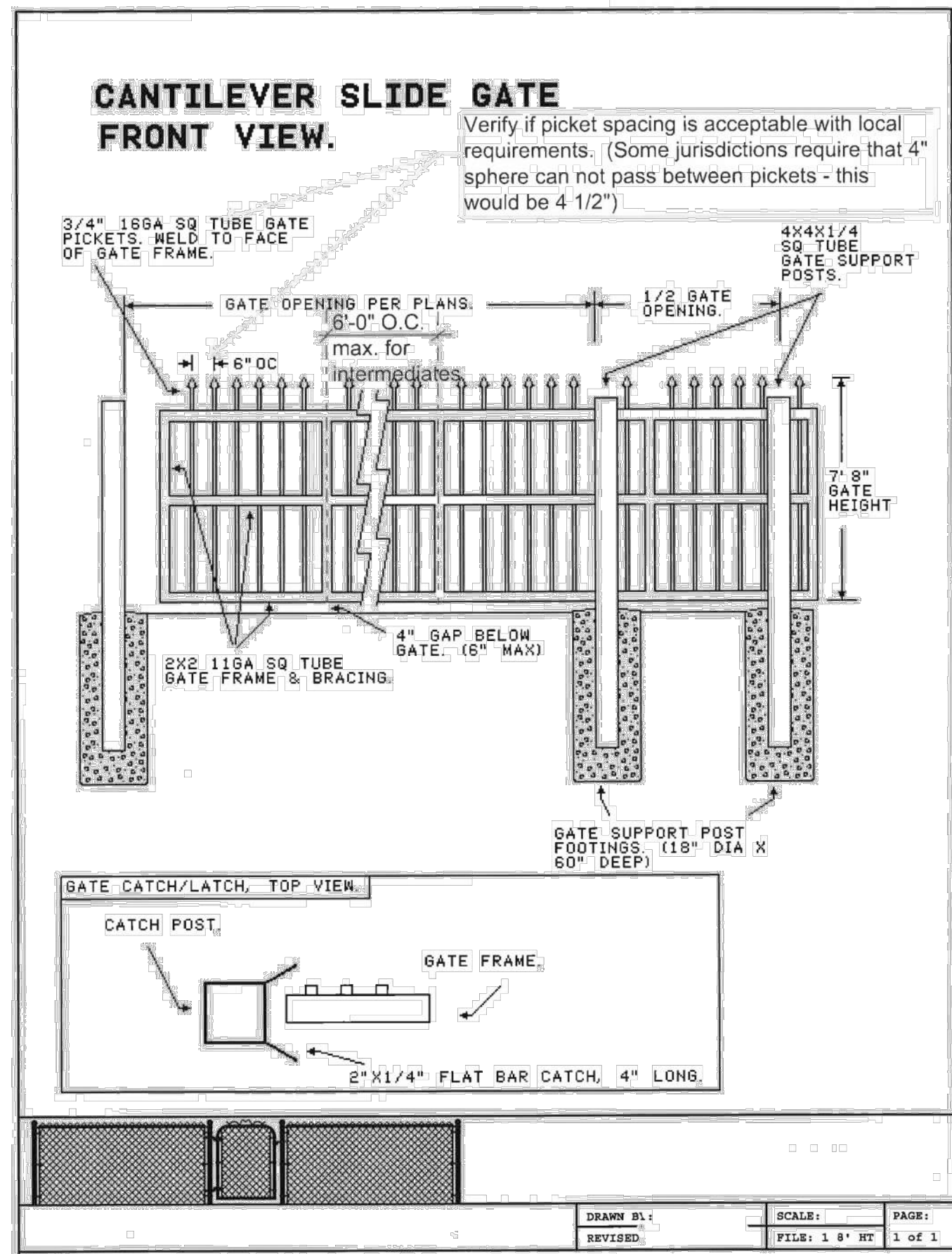
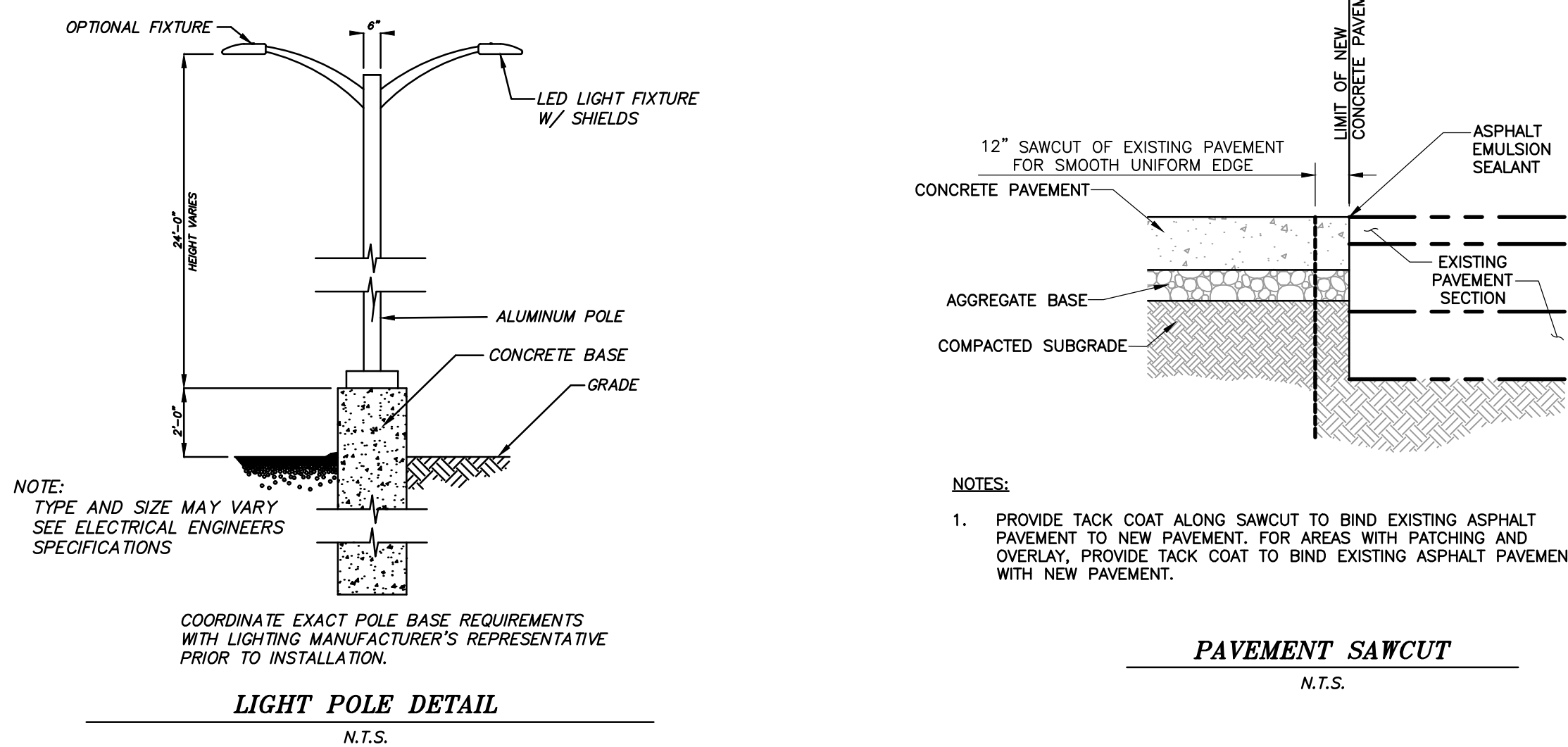
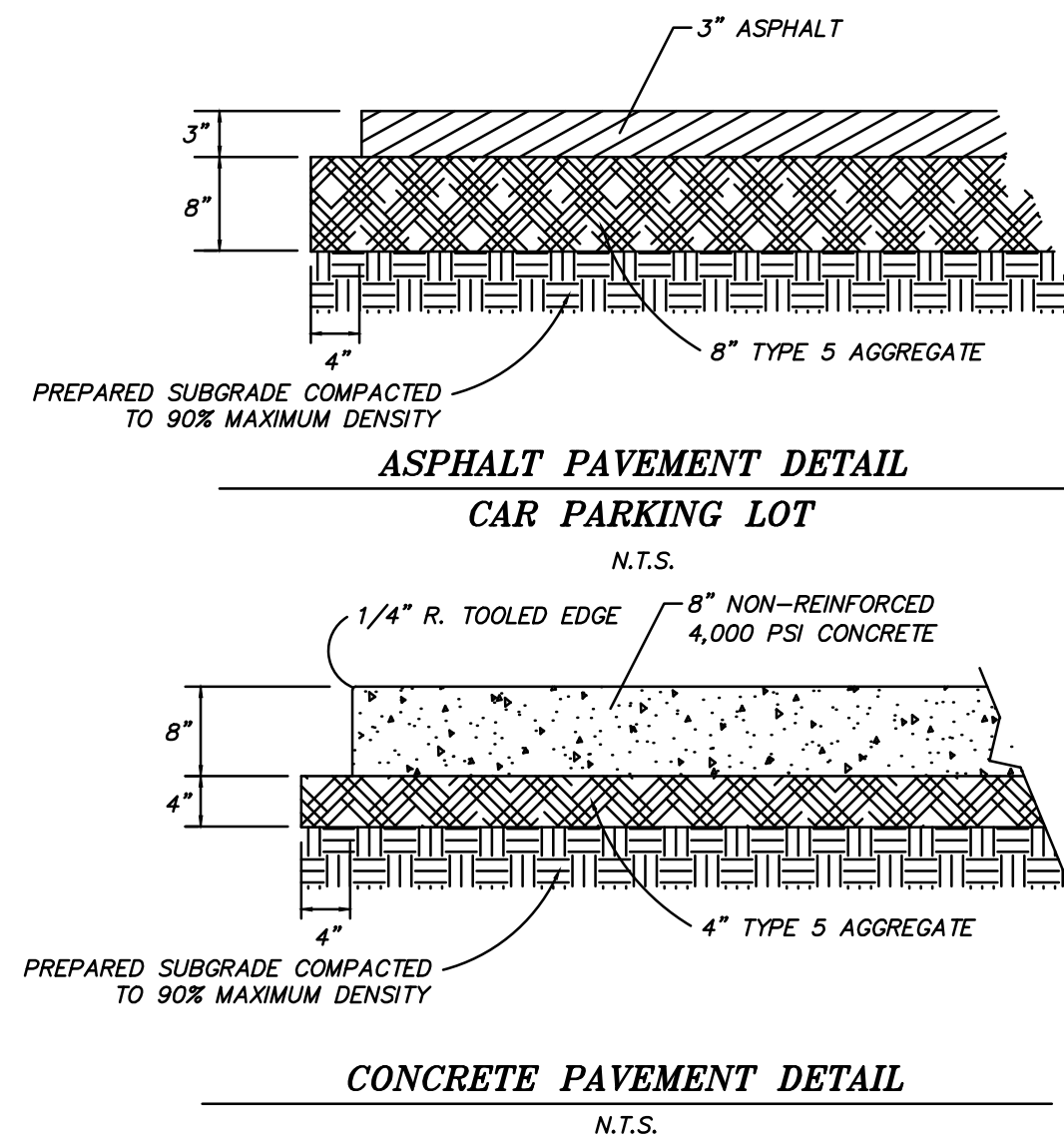
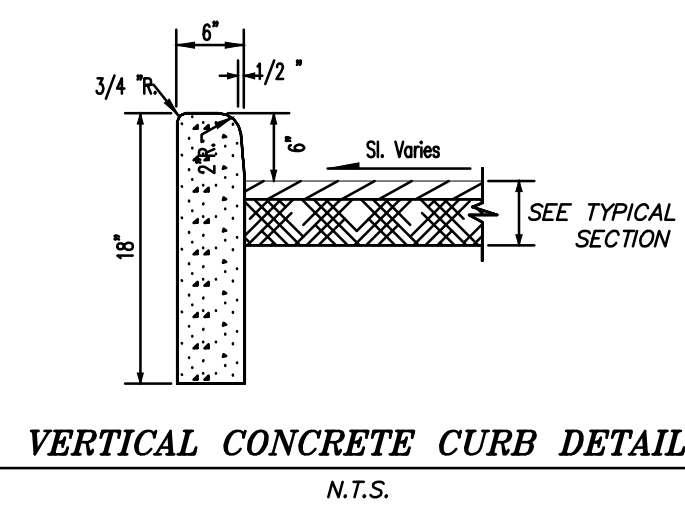
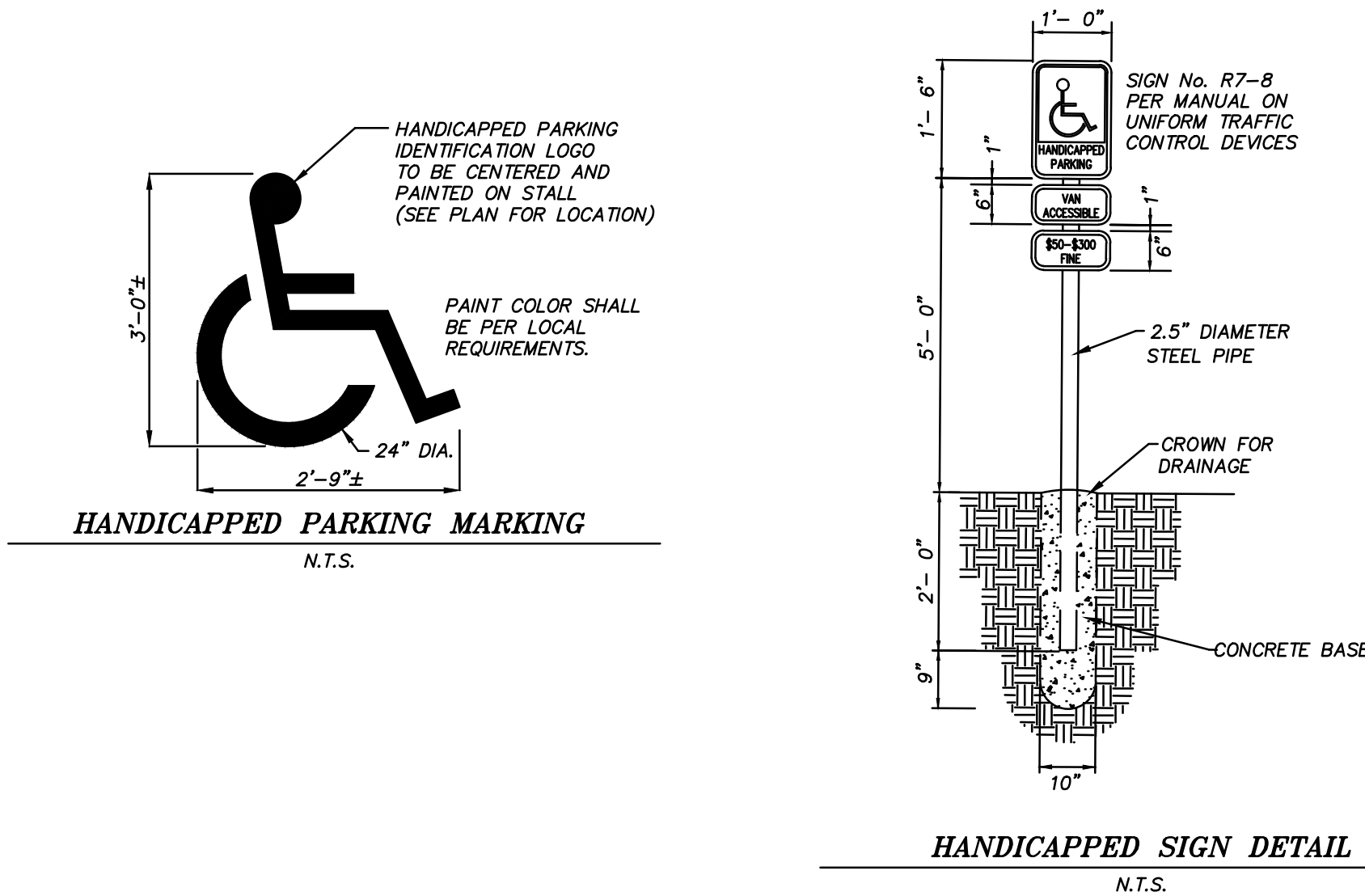
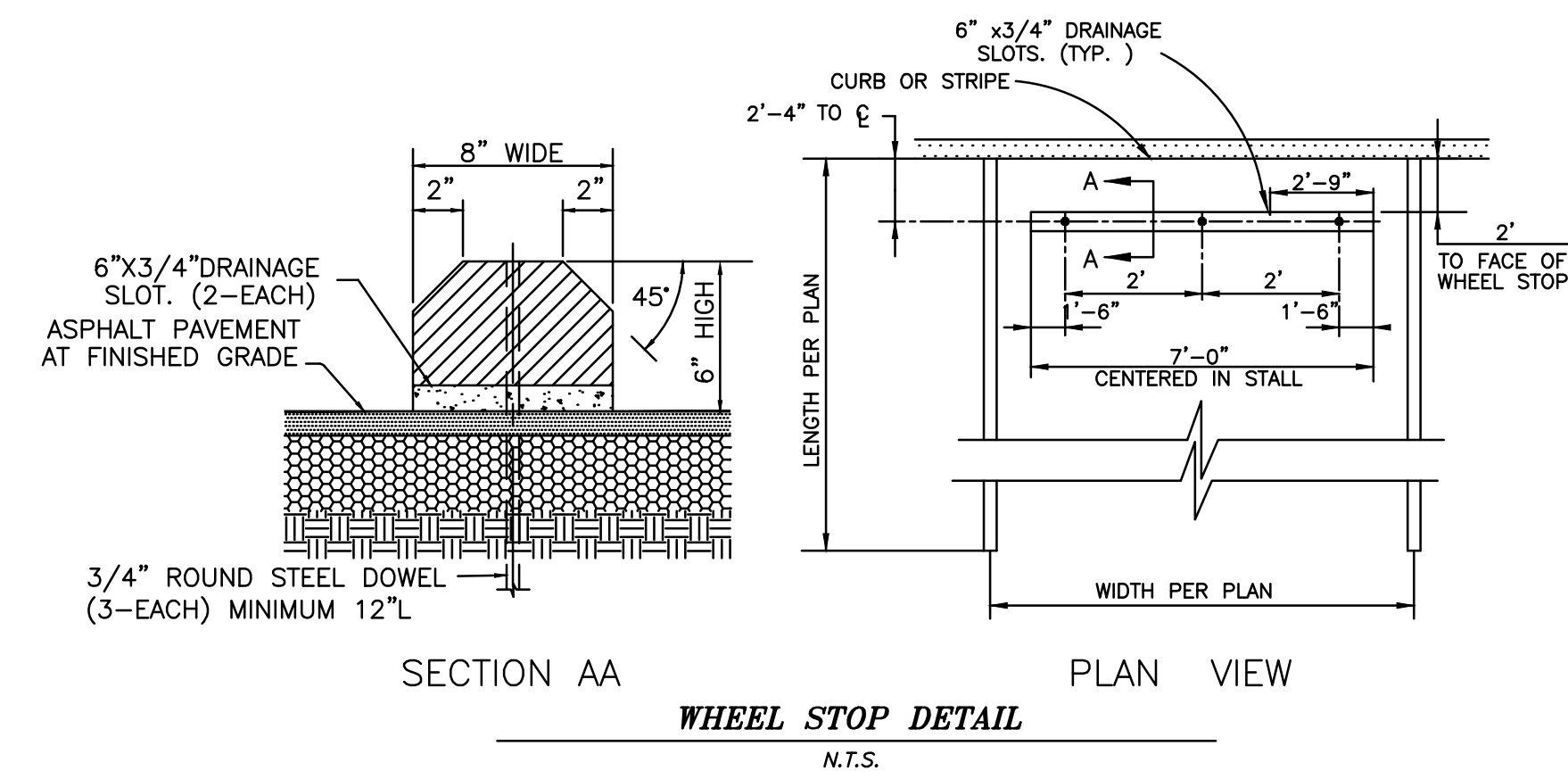
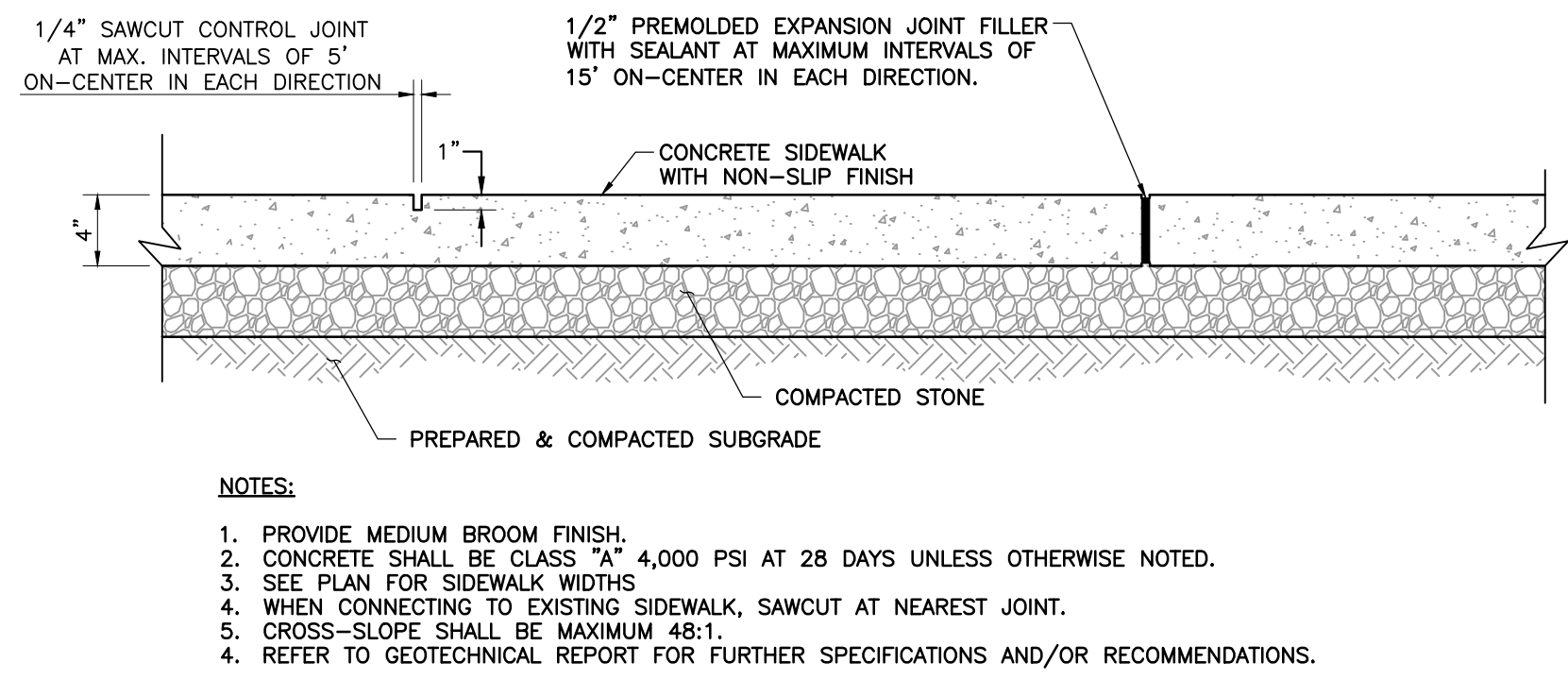
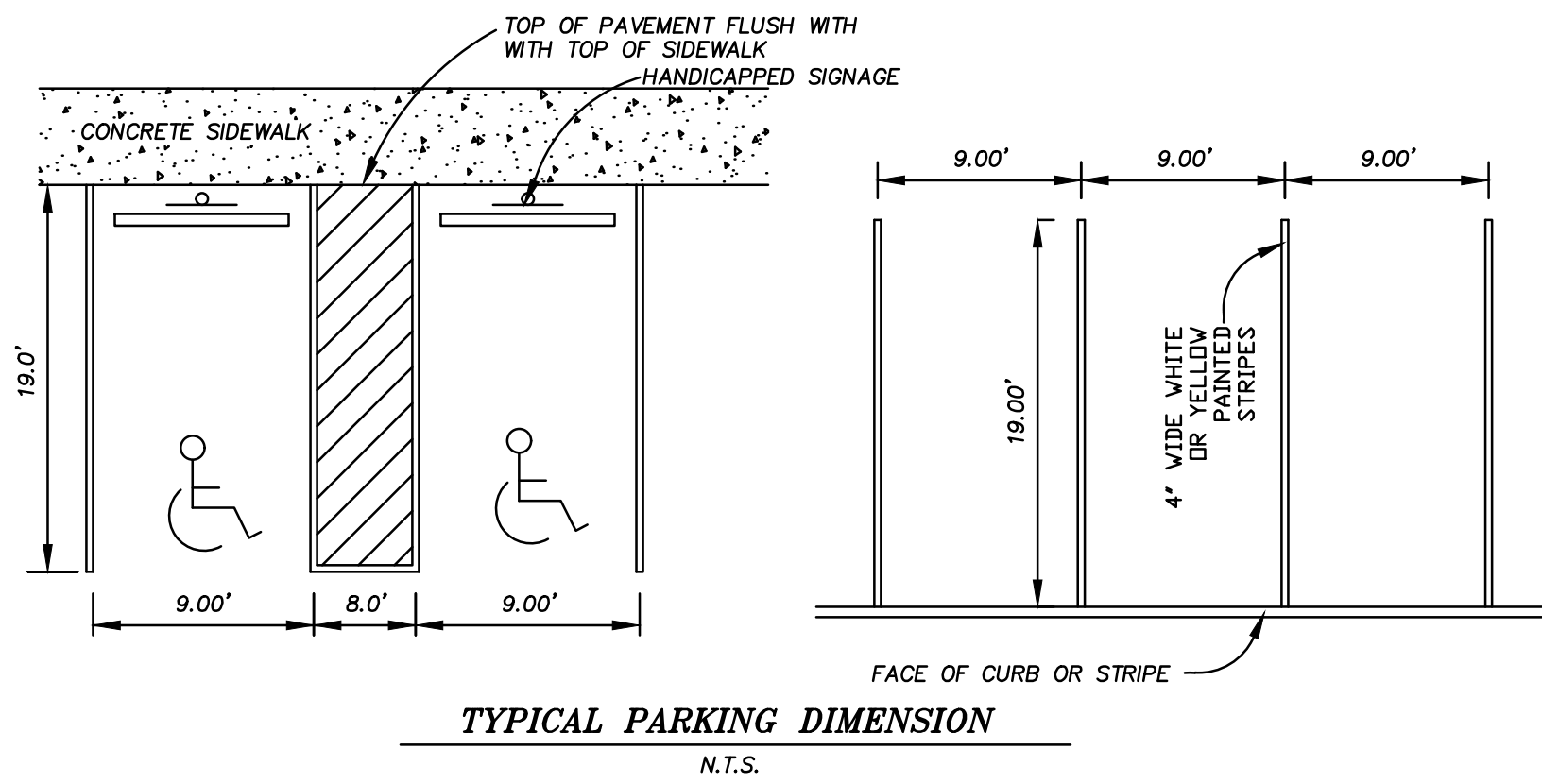
KIA - ST. PETERS SITE PLAN LIGHTING PLAN
 DATE: JAN 27, 2026 DRAWN BY: KAS
 DWG SCALE: 1" = 20' CHECKED BY: KAS
 PROJECT NO: 357-904.0002
 APPROVED BY:
C700
 SHEET 5 OF 7

REVISION RECORD
 NO. DATE DESCRIPTION

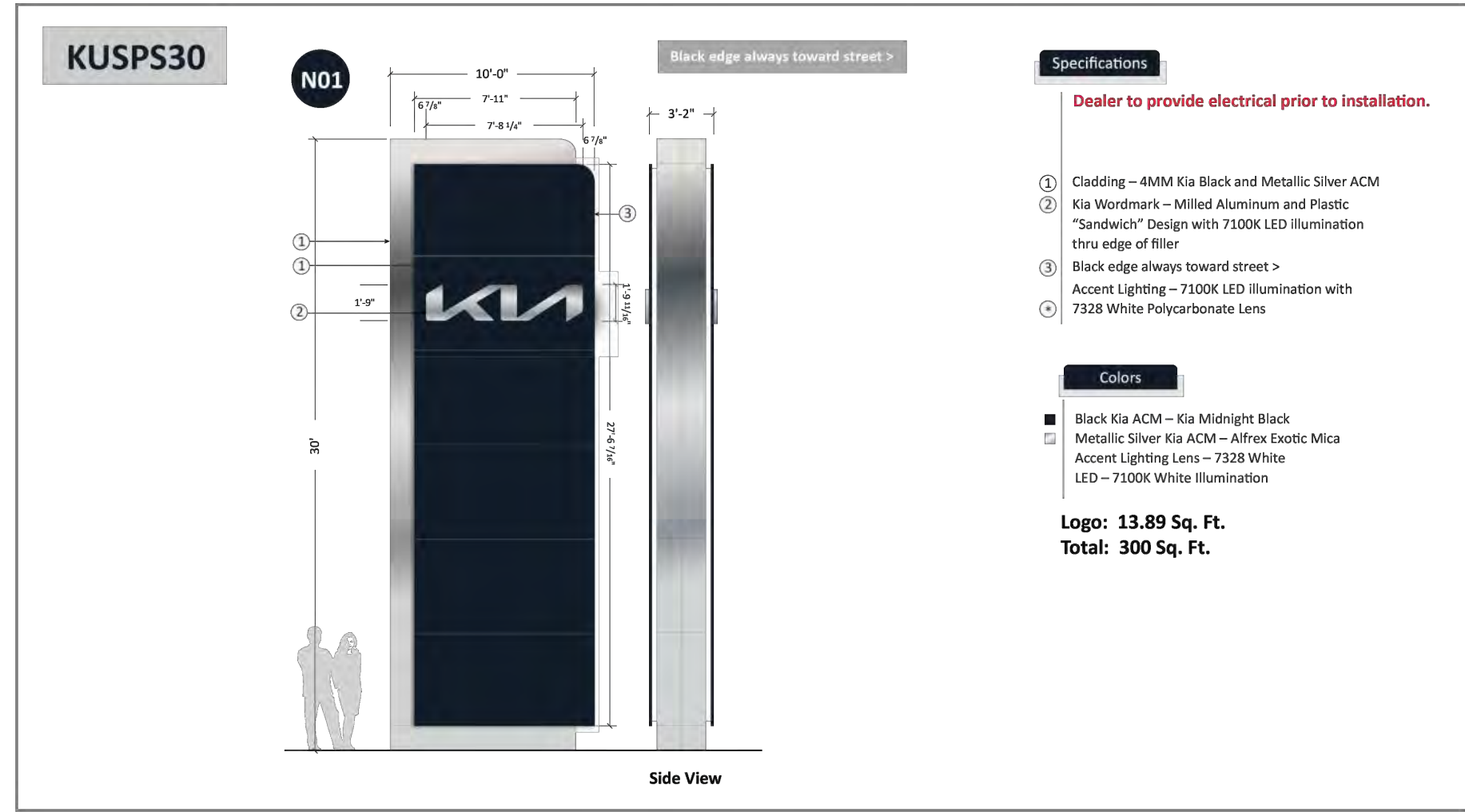
1450 Beale Street
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 Ph: 314.656.4566
 www.cecinc.com

Civil & Environmental Consultants, Inc.

**NAPLETON AUTO GROUP
 NAPLETON KIA ST. PETERS
 4953 VETERANS MEMORIAL PARKWAY
 ST. PETERS, MISSOURI 63376**

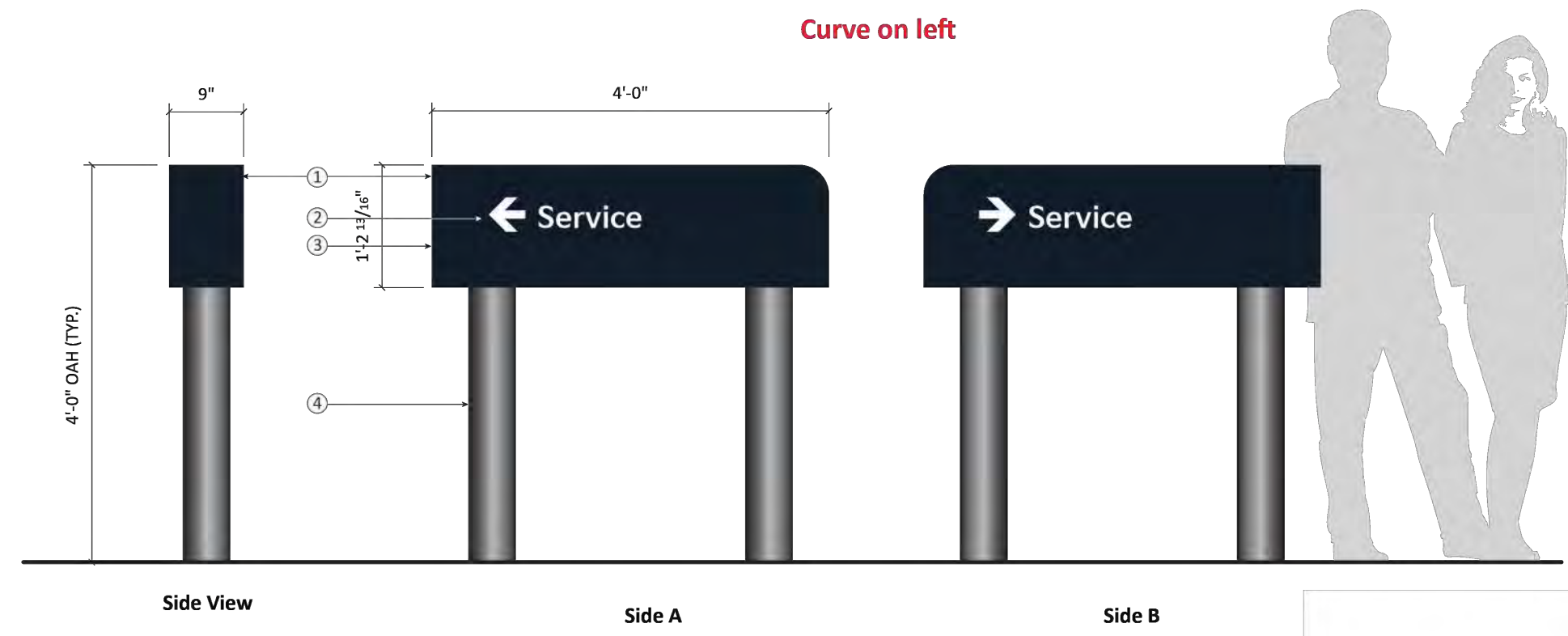
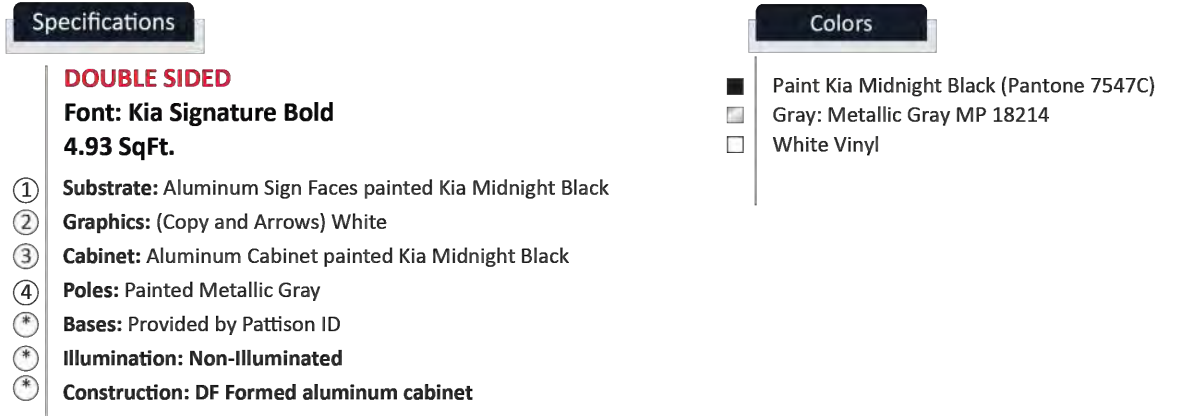


Kia NEW LOGO MONOLITH



DIRECTIONAL SIGNS

KUSDR1



NO.	DATE	DESCRIPTION

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NAPLETON AUTO GROUP
NAPLETON KIA ST. PETERS
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ST. PETERS, MISSOURI 63376

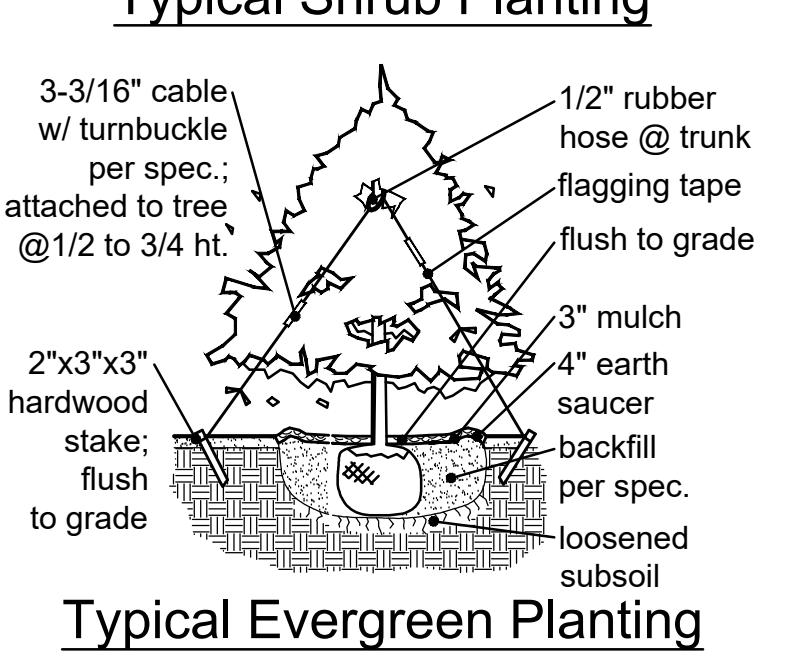
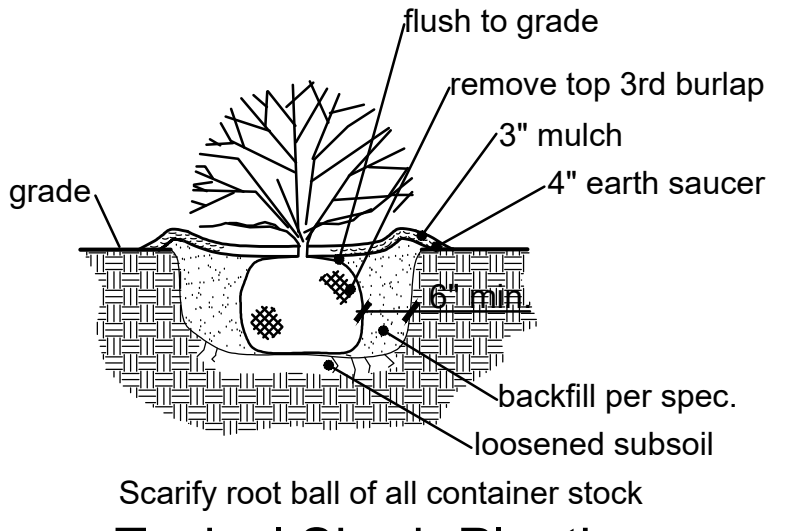
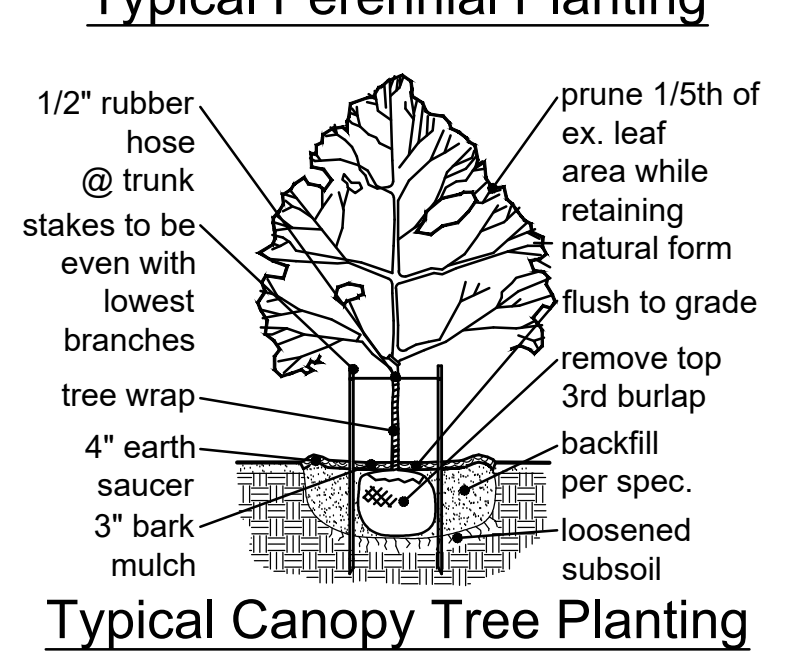
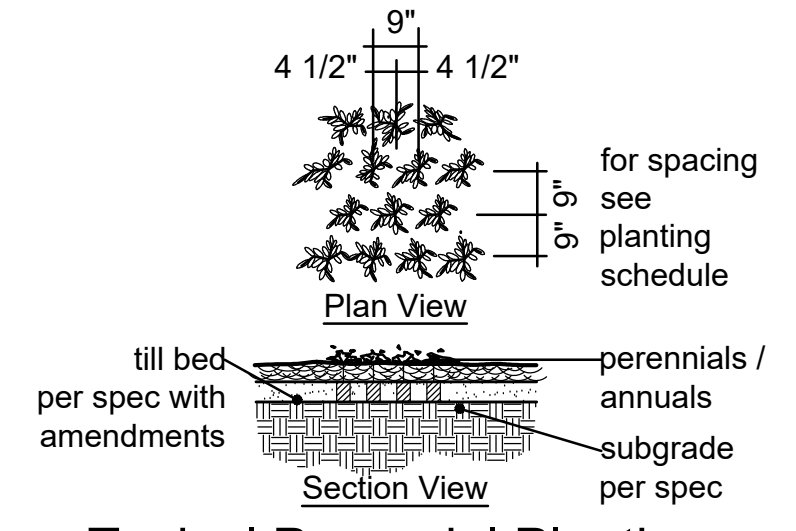
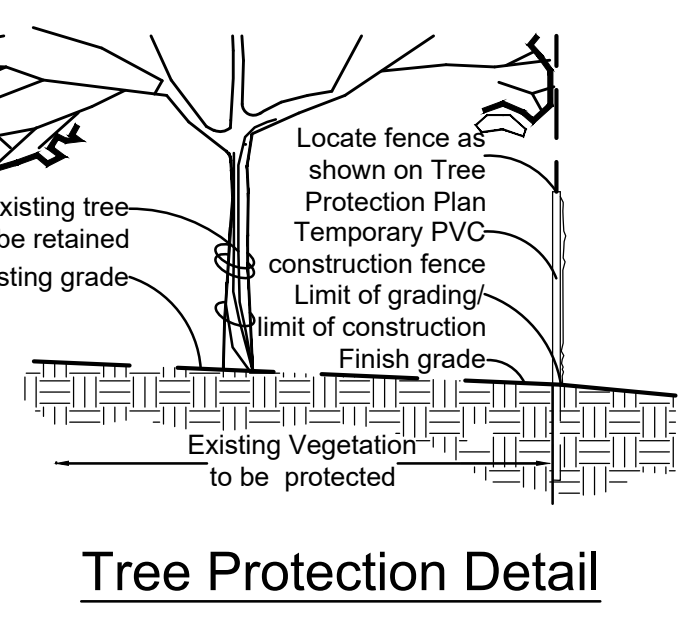
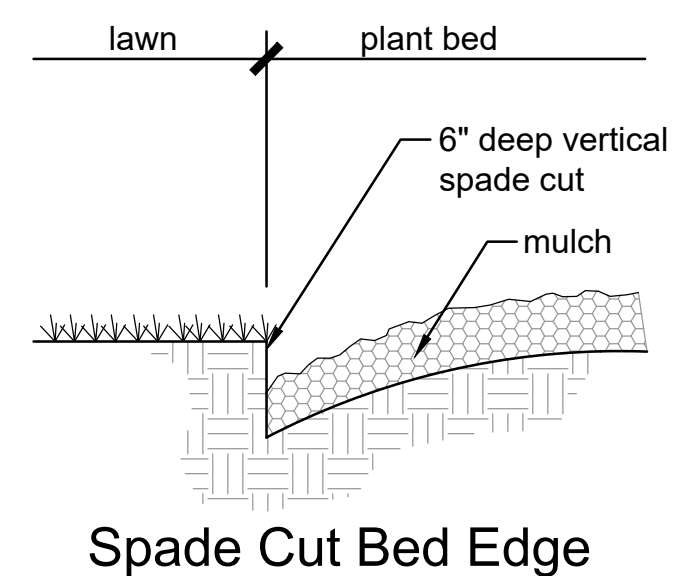
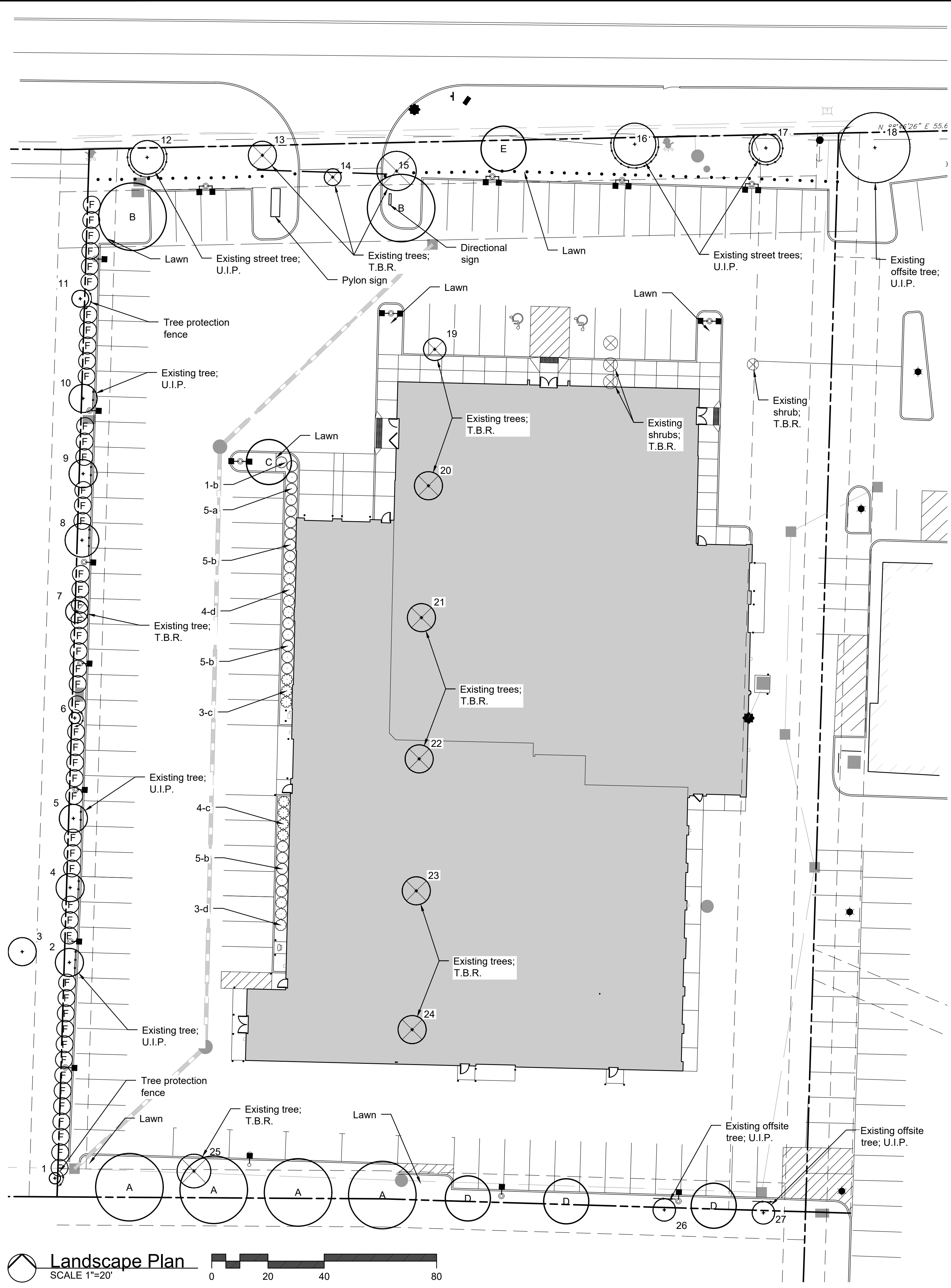
KIA - ST. PETERS SITE PLAN DETAILS

DATE: JAN. 27, 2025 DRAWN BY: KAS
PROJECT NO: 357-904.0002
CHECKED BY: KAS
APPROVED BY: [REDACTED]

DRAWING NO: **C801**
SHEET 7 OF 7



A: 1/30/2025 10:51:59 AM - SITE PLAN (KUSPS30-C01) - 0300-047 (08/11) (S1/20/2026 - [REDACTED]) - LP: 1/28/2026 10:59 AM - [REDACTED]



Tree Protection Notes:

- 1) Pre-construction meeting to be held on-site to include a presentation of tree protection measures to operators, construction supervisors, developer's representative, and city zoning inspector.
- 2) Clearing Limits to be rough staked in order to facilitate location for installation of protection fencing. No early maintenance schedule is required.
- 3) No clearing or grading shall begin in areas where the treatment and preservation measures have not been completed, including the installation of tree protection fencing as shown on the plan. Where necessary, Contractor may perform minor tree clearing prior to installing silt fencing and tree protection fencing provided they maintain tree protection area.
- 4) Tree Protection Fencing shall be 4-foot high temporary plastic construction fence. No equipment traffic/parking, concrete washout, material storage or other such construction activity shall be permitted to penetrate the protection fencing or disrupt the Protected Woodland Area except for the removal of dead or invasive plant material. All ground plane in planting areas shall be mulched with hardwood bark mulch. Tree Protection Signage will be placed along the Protection Fencing as shown as the dashed line on the plan.
- 5) Tree protection measures to be maintained throughout construction sequence.

Landscape Notes:

- 1) Lawn areas shall be turf-type Tall Fescue Grass or approved equivalent.
- 2) Topsoil in all disturbed lawn areas at 6" depth.
- 3) Soil mix in all shrub beds at 8" depth.
- 4) All mulch to be double ground bark mulch.
- 5) Bed edges to be spade cut.

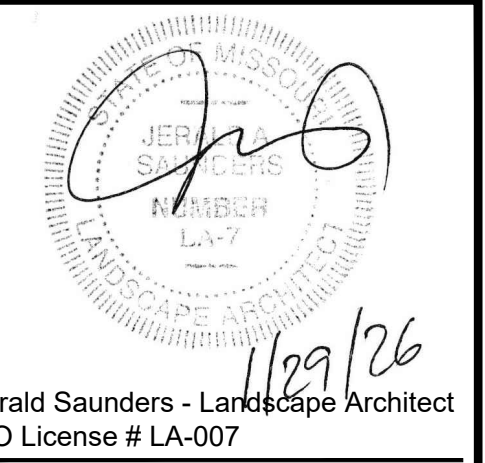
Development Area: 100,587 s.f.
 Required Landscape Credits: 10% of Development Area
 100,587 s.f. x 10% = **10,058**

EXISTING TREE INVENTORY

ID	TREE SPECIES	DBH	CANOPY DIAMETER	CONDITION RATING	COMMENTS	TO BE PRESERVED	POINT VALUE
1	White Pine	3	4	Good	8' tall	X	300
2	Littleleaf Linden	6	10	Fair		X	300
3	Redbud	1	10	Good	Offsite, clump	X	
4	Spruce	4	10	Poor		X	
5	Littleleaf Linden	7	10	Good		X	300
6	White Pine	2	4	Fair		X	300
7	Spruce	3	8	Poor			
8	Littleleaf Linden	7	12	Good		X	300
9	Spruce	5	10	Good	12' tall	X	300
10	Littleleaf Linden	7	10	Fair		X	300
11	Crabapple	3	6	Fair	Suckering, sun scald	X	200
12	Redbud	6	12	Fair	Clump	X	200
13	Redbud	3	10	Good	Clump		
14	Crabapple	4	6	Good			
15	Redbud	6	14	Good			
16	Redbud	12	15	Good		X	200
17	Crabapple	6	10	Good		X	200
18	Redbud	12	25	Good	Offsite	X	
19	Hornbeam	9	8	Good			
20	Hornbeam	9	10	Good			
21	Hornbeam	10	10	Good			
22	Hornbeam	10	10	Good			
23	Hornbeam	9	10	Good			
24	Hornbeam	9	10	Good			
25	Spruce	5	12	Dead	Dead		
26	Crabapple	3	8	Good	Offsite	X	
27	Crabapple	3	8	Fair	Offsite, suckers	X	
SUBTOTAL POINTS						2,900	

PLANTING SCHEDULE

ID	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	POINT VALUE
CANOPY-SHADE TREE						
A	4	<i>Liriodendron tulipifera</i>	Tulip Tree	1.5" caliper	B & B	1060
B	2	<i>Zelkova serrata</i> 'Green Vase'	Green Vase Japanese Zelkova	1.5" caliper	B & B	800
C	1	<i>Carpinus betulus</i> 'Frans Fontaine'	Frans Fontaine Hornbeam	1.5" caliper	B & B	300
UNDERSTORY-ORNAMENTAL TREE						
D	3	<i>Malus</i> 'Spring Snow'	Spring Snow Crabapple	1.5" caliper	B & B	600
E	1	<i>Cercis canadensis</i>	Redbud	1.5" caliper	B & B	200
EVERGREEN TREE						
F	50	<i>Thuja occidentalis</i> 'Art Boe'	North Pole Arborvitae	6' tall	B & B	2,500
SHRUBS-ORNAMENTAL GRASSES-PERENNIALS-ANNUALS-GROUNDCOVER						
a	5	<i>Ilex x meserveae</i> 'HACH1'	Castle Rouge Blue Holly	18"	48" o.c.	100
b	16	<i>Ilex glabra</i> 'Compacta'	Compact Inkberry	18"	48" o.c.	640
c	7	<i>Hydrangea quercifolia</i> 'Munchkin'	Munchkin Oakleaf Hydrangea	18"	48" o.c.	140
d	7	<i>Syringa</i> x 'SMSJBP7'	Bloomerang Dark Purple Lilac	18"	48" o.c.	280
SUBTOTAL POINTS						7,160
TOTAL POINTS						10,060



Consultants:

Napleton KIA
 4955 Veterans Memorial Parkway
 Saint Peters, Missouri 63376

Revisions:

Date	Description	No.

Drawn: KP
 Checked: RS

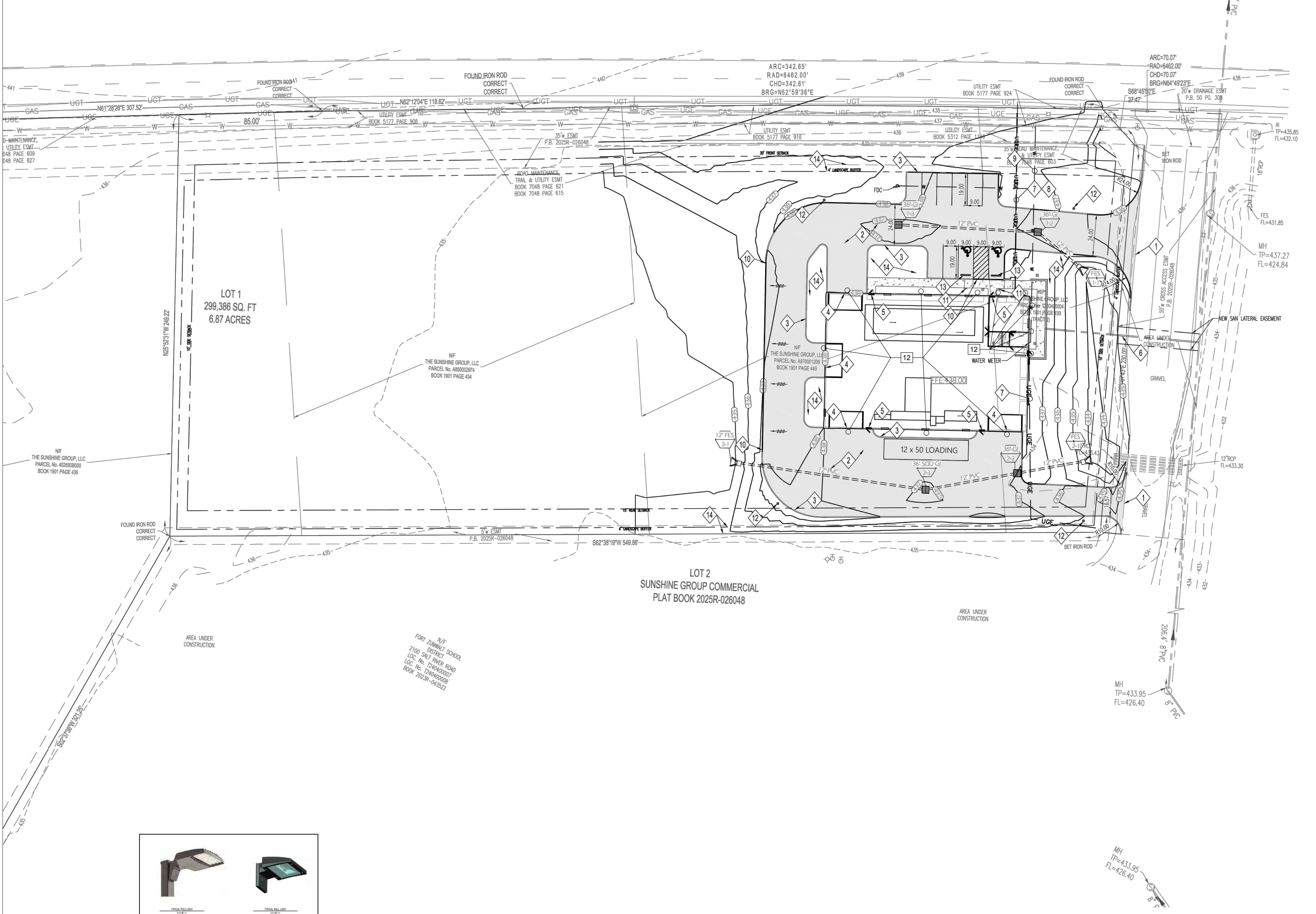
LOOMIS ASSOCIATES
 landscape architects + planners
 750 spirit of park drive, chesterfield, missouri 63005
 t. 636-519-6668 www.loomis-associates.com

Loomis Associates Inc.
 Missouri State Certificate of Authority #: LAC #0000191

Sheet Title: Landscape Plan
 Sheet No: **L1.01**
 Date: 1/29/26
 Job #: 1102.001

THE NORTH SIDE OF THE PROPERTY WILL BE GRADED AS SHOWN ON THE PREVIOUSLY PROVIDED MASTER STORMWATER DITCH PLAN

SALT RIVER ROAD IRREG WIDTH



KEYED IMPROVEMENT NOTES:

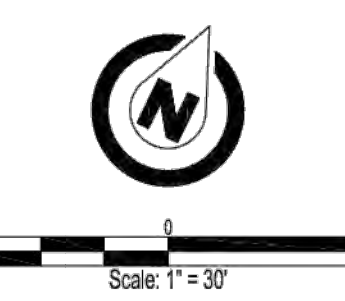
- 1 MATCH EXISTING PAVEMENT ELEVATIONS.
- 2 CONSTRUCT 3 INCH THICK TYPE "C" ASPHALT CONCRETE PAVEMENT OVER 8 INCHES OF COMPACTED CRUSHED LIMESTONE BASE OVER COMPACTED SUBGRADE. PLACE ASPHALT IN 2 SEPARATE LIFTS. REFER TO TYPICAL SECTION ON SHEET C.
- 3 CONSTRUCT 6"x18" VERTICAL P.C. CONCRETE CURB. REFER TO TYPICAL SECTION ON SHEET C.
- 4 OVERHEAD DOOR
- 5 MAN DOOR
- 6 INSTALL NEW 6" SDR 35 PVC SANITARY LATERAL.
- 7 CONSTRUCT NEW UNDERGROUND ELECTRICAL SERVICE. RECONNECT POWER TO SUPPLY EXISTING ELECTRICAL PANELS IN EXISTING BUILDINGS. CONTRACTOR TO COORDINATE WITH AMEREN UE.
- 8 FURNISH AND INSTALL NEW UNDERGROUND TELEPHONE CONDUIT WITH COPPER TRACER WIRE BURIED 36 INCHES DEEP. CONTRACTOR TO COORDINATE WITH TELEPHONE COMPANY.
- 9 FURNISH AND INSTALL NEW 2" WATER SERVICE LINE. FINAL WATER LINE TO BE SIZED BY MEP AND SHALL HAVE BACK FLOW PREVENTION. CONTRACTOR TO COORDINATE WITH ST PETERS WATER ON LOCATION, BACKFLOW PREVENTION AND METER LOCATION.
- 10 FLUSH CONCRETE CURB.
- 11 FURNISH AND INSTALL NEW HANDICAP PARKING SIGN.
- 12 FURNISH AND INSTALL NEW DOWNCAST PARKING LOT LIGHT AND BASE. PRESUMED 20" TALL LIGHTING CONTRACTOR TO VERIFY HEIGHT AND PROVIDE LIGHTING PHOTO-METRIC PLANS. ANY BUILDING LIGHTS WILL ALSO NEED TO BE DOWNCAST. LIGHTS AT OFFICE TO BE DECORATIVE WALL LIGHTS.
- 13 FURNISH AND INSTALL CONCRETE WHEEL STOP. REFER TO DETAIL ON SHEET C.
- 14 LANDSCAPE AREA. REFER TO LANDSCAPE DRAWINGS.

NOTES

1. ALL OUTSIDE STORAGE OF ANY MATERIALS, PRODUCTS, OR EQUIPMENT SHALL BE COMPLETELY SCREENED FROM VIEW, ON ALL SIDES WITH AN APPROPRIATE AESTHETIC ELEMENT, AS APPROVED BY THE PLANNING DEPARTMENT.
2. NO MANUFACTURING, ASSEMBLY, CONSTRUCTION, OR ANY OTHER SUCH WORK SHALL BE PERFORMED OUTSIDE.
3. NO OUTSIDE STORAGE IS PLANNED AT THIS TIME.
4. NO FURTHER CURB CUTS TO SALT RIVER ROAD WILL BE PERMITTED.

SEWER STRUCTURE LEGEND

- MSD STANDARD MANHOLE.
- MSD STANDARD GRATED INLET, SEE PROFILES FOR SIZE.
- MSD STANDARD 2-GRATE INLET WITH SIDE INTAKE.
- MSD STANDARD CURB INLET.
- MSD STANDARD AREA INLET.
- END PIPE.
- OVER-FLOW STRUCTURE.
- ADS SLOT DRAIN.
- GRATE INLET REFER TO PROFILES FOR SIZE.
- MSD STANDARD SANITARY SEWER MANHOLE.
- MSD SAMPLING SANITARY SEWER MANHOLE.



JENNIFER BROWN CIVIL ENGINEER
MO PE 202007668

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PREPARED BY: **JBE**

JENNIFER BROWN ENGINEERING LLC
515 ALPHONSO DR
KIRKWOOD, MO 63122
PHN: 314.495.9172
CERTIFICATE OF AUTHORITY: 2024046550

PLANNING, SITE DESIGN AND DEVELOPMENT,
STORMWATER MANAGEMENT, WATER QUALITY,
CONSTRUCTION MANAGEMENT

ISSUANCE: SITE DEVELOPMENT PLANS SUBMITTAL 2

UPRIGHT TRUSS COMPANY
DEVELOPMENT PLANS
2120 SALT RIVER ROAD
ST PETERS MO 63376

REVISIONS/ISSUANCE:	
DATE	BY DESCRIPTION
02/24/26	JB ADDRESS CITY COMMENTS

SHEET TITLE:
SITE PLAN

DATE: 02/24/2026 DESIGNER: JB CHECKED BY: JB

C2.0

Page 65 of 100



JENNIFER BROWN CIVIL ENGINEER
MO PE 2022002324

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515 ALPHONSE DR
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CONSTRUCTION MANAGEMENT



ISSUANCE: SITE DEVELOPMENT PLANS SUBMITTAL 2

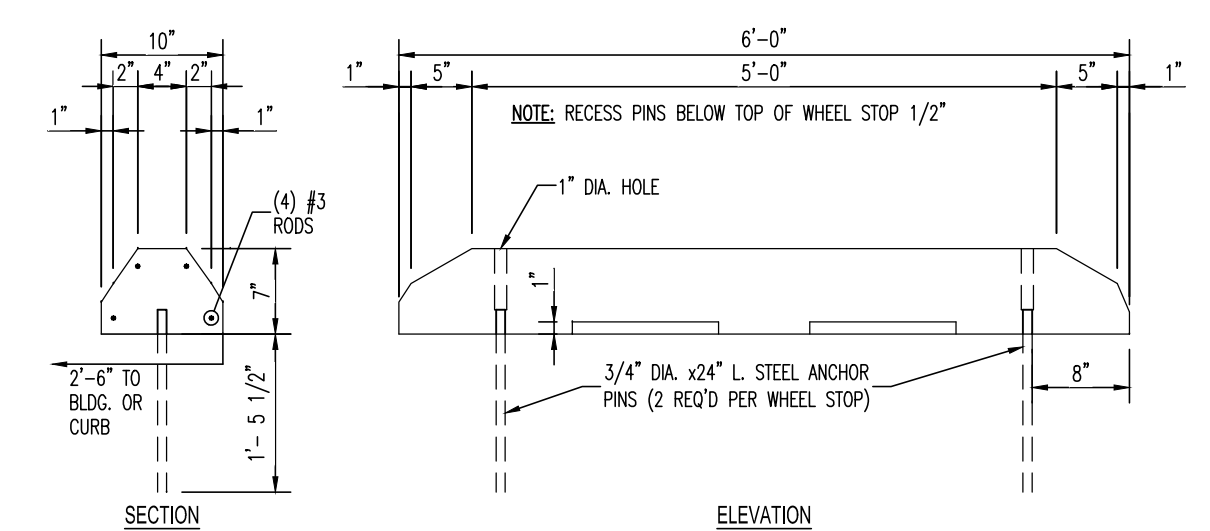
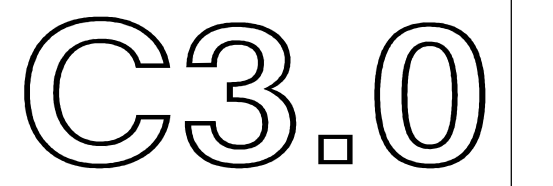
UPRIGHT TRUSS COMPANY
DEVELOPMENT PLANS
2120 SALT RIVER ROAD
ST PETERS MO 63376

REVISIONS/ISSUANCE:
DATE BY DESCRIPTION

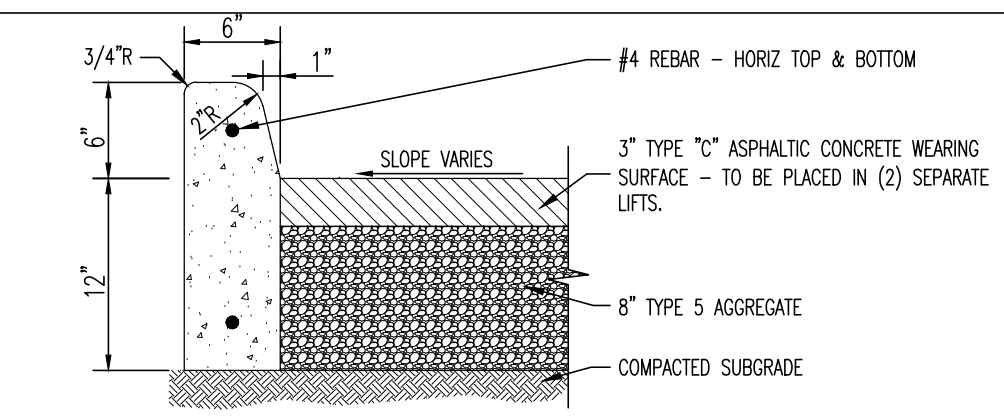
02/24/26	JB	ADDRESS CITY COMMENTS

SHEET TITLE:
DETAILS AND PROFILES

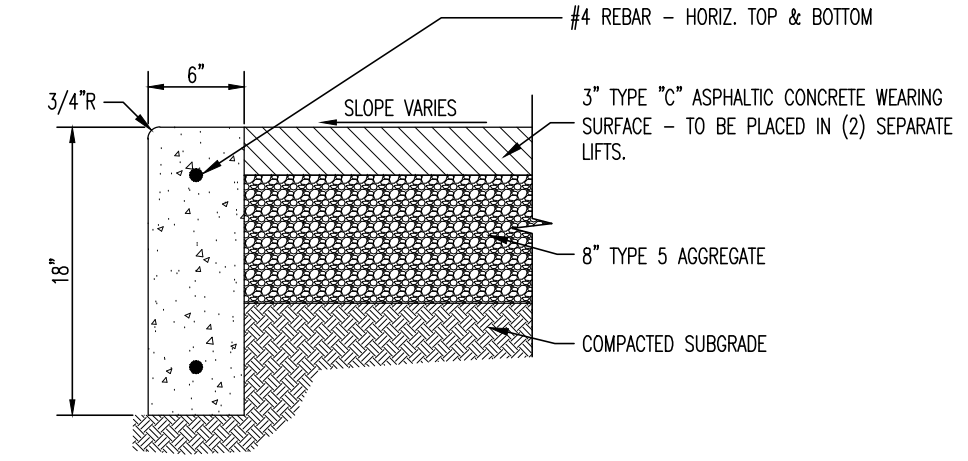
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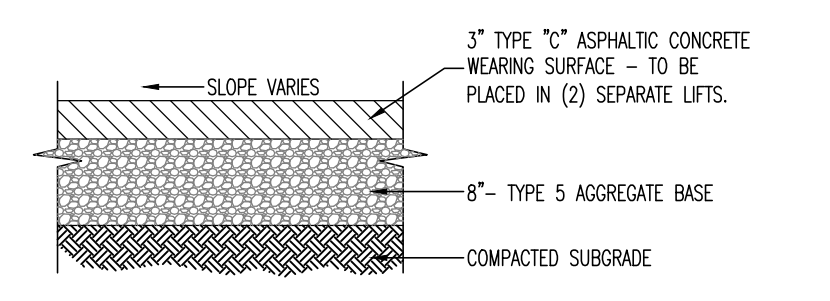
CONCRETE WHEEL STOP DETAIL
SCALE: N.T.S.



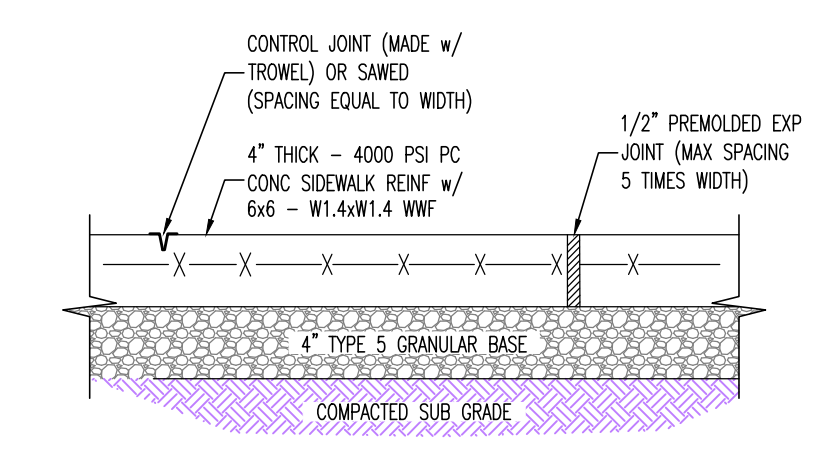
TYPICAL PAVEMENT & 18" CONCRETE CURB SECTION
(STANDARD TYPE "C" PAVING)
SCALE: N.T.S.



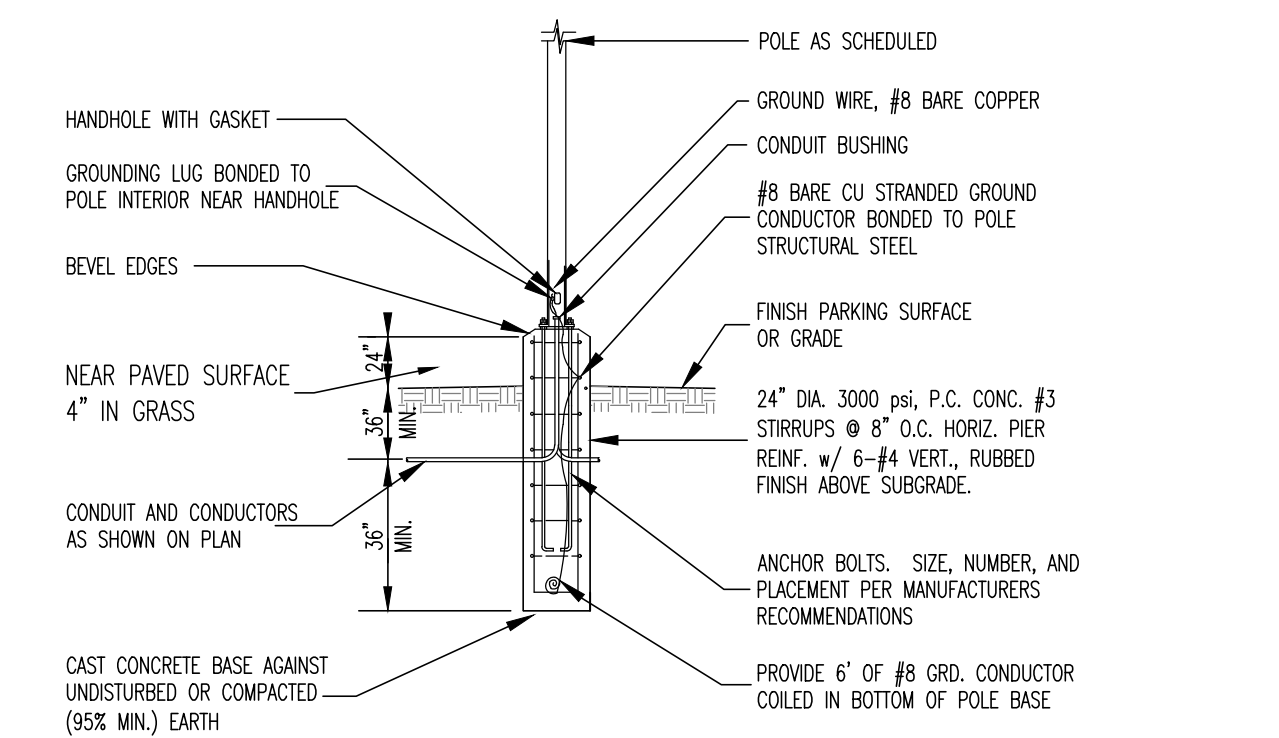
TYPICAL PAVEMENT & 18" FLUSH CONCRETE CURB SECTION
SCALE: N.T.S.



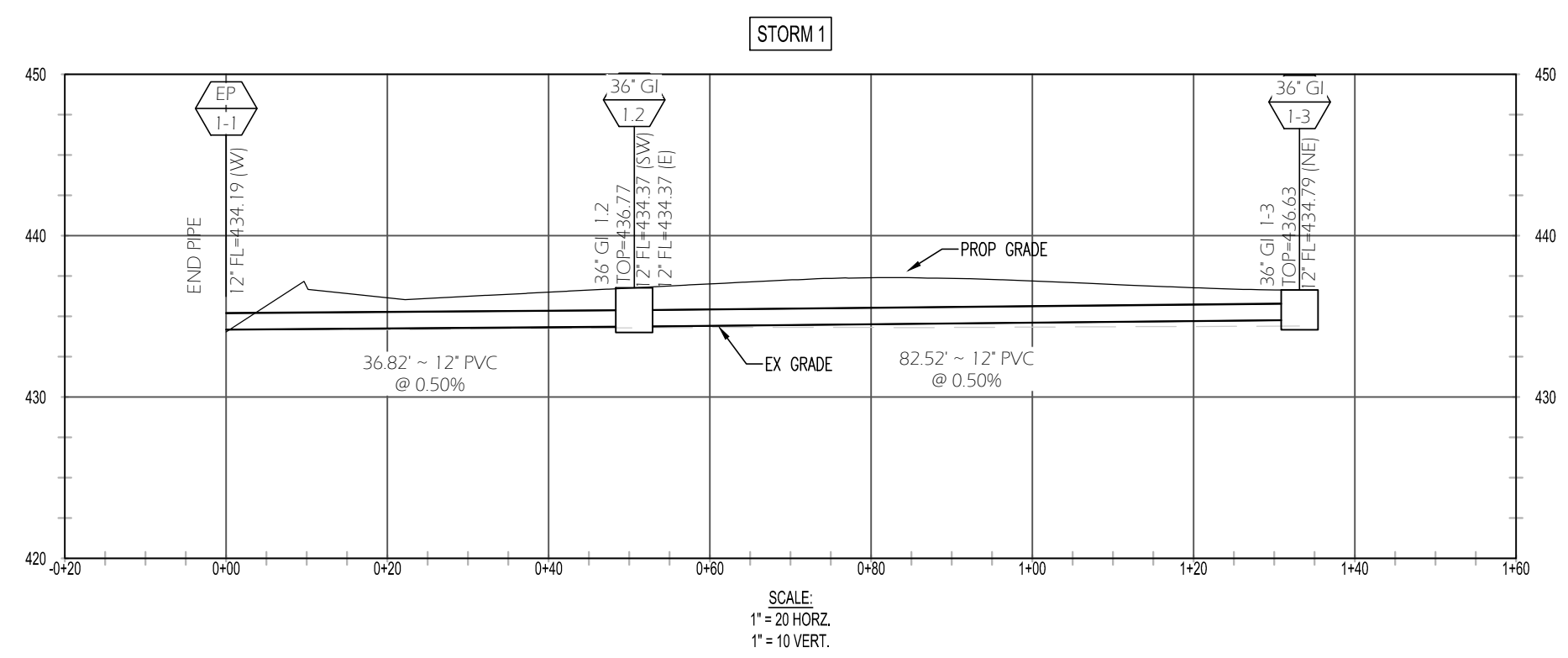
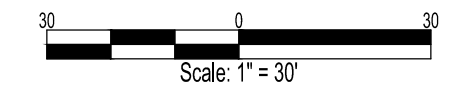
TYPICAL ASPHALT PAVEMENT SECTION
(STANDARD TYPE "C" PAVING)
SCALE: N.T.S.



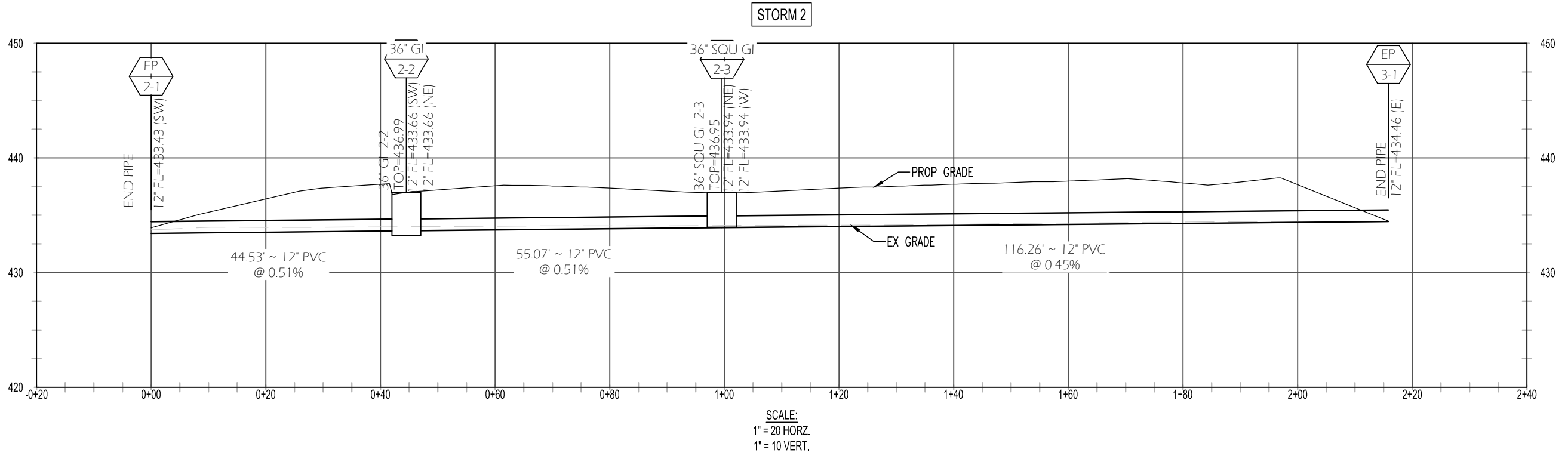
TYPICAL SIDEWALK SECTION
SCALE: N.T.S.



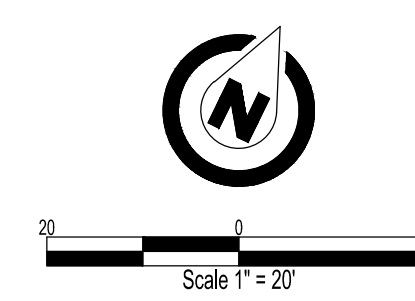
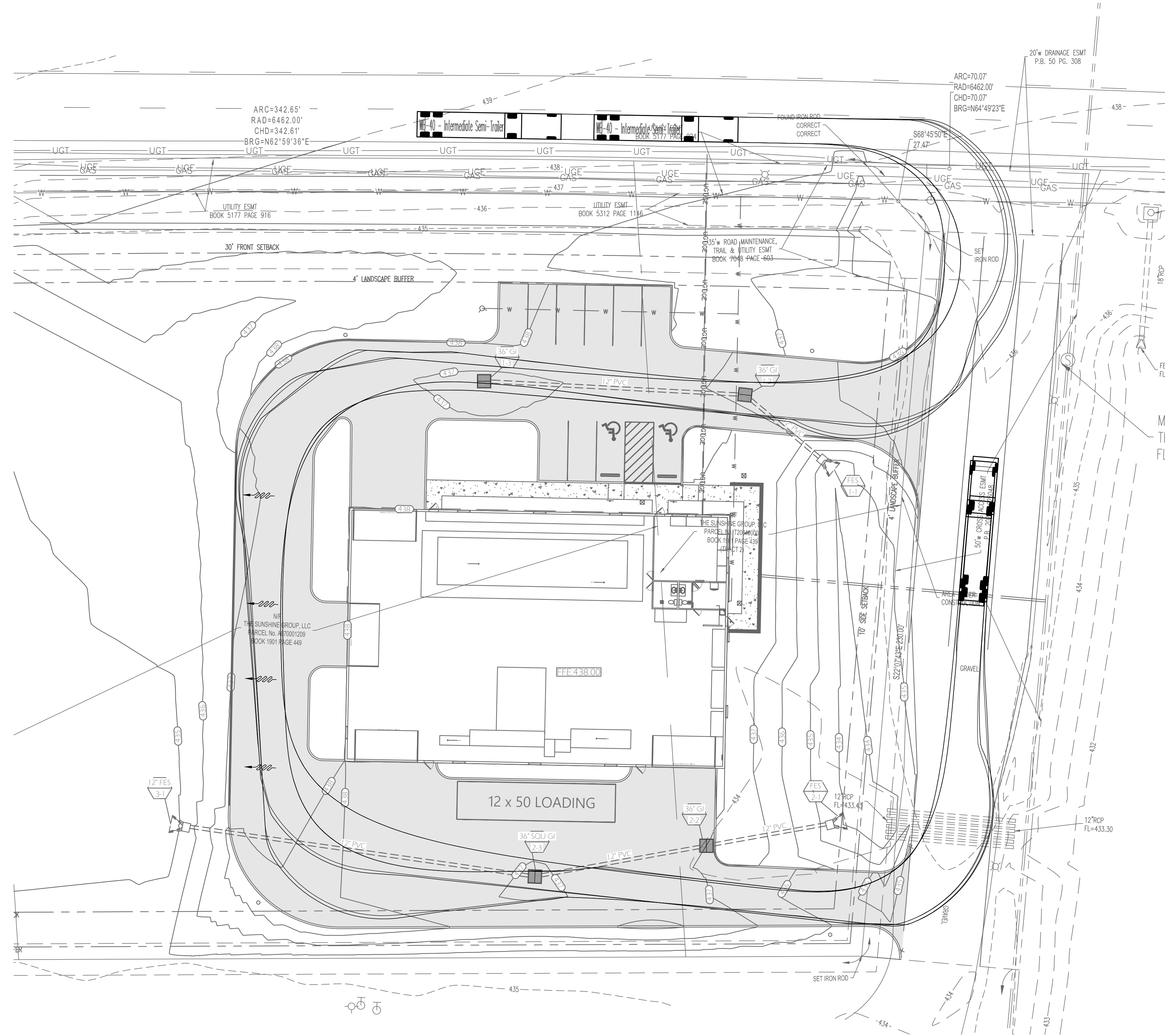
TYPICAL PARKING LOT LIGHTING DETAIL
SCALE: N.T.S.
400 WATT, FORWARD THROW HIGH PRESSURE SODIUM
NOTE:
STRUCTURAL TO DESIGN BASE FOR VARIOUS POLE HEIGHTS
ELECTRICIAN TO REVIEW FOR CODE AND GROUNDING



SCALE:
1" = 20' HORIZ.
1" = 10' VERT.



SCALE:
1" = 20' HORIZ.
1" = 10' VERT.



JENNIFER BROWN CIVIL ENGINEER
MO PE 2022002324

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PREPARED BY:
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 PHN: 314.495.9172
 CERTIFICATE OF AUTHORITY: 2024046550
 PLANNING, SITE DESIGN AND DEVELOPMENT,
 STORMWATER MANAGEMENT, WATER QUALITY,
 CONSTRUCTION MANAGEMENT

ISSUANCE:
 SITE DEVELOPMENT PLANS SUBMITTAL 2

SITE ADDRESS:
 UPRIGHT TRUSS COMPANY
 DEVELOPMENT PLANS
 2120 SALT RIVER ROAD
 ST PETERS MO 63376

REVISIONS/ISSUANCE:		
DATE	BY	DESCRIPTION
02/24/26	JB	ADDRESS CITY COMMENTS

SHEET TITLE:
 TURNING PLAN

DATE: 02/24/2026 DESIGNER: JB CHECKED BY: JB

C4.0



CORY CALKINS, PROFESSIONAL ENGINEER
LICENSE # PE-2022019812

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NO.	DATE	REMARKS	ISSUE / REVISION DESCRIPTIONS

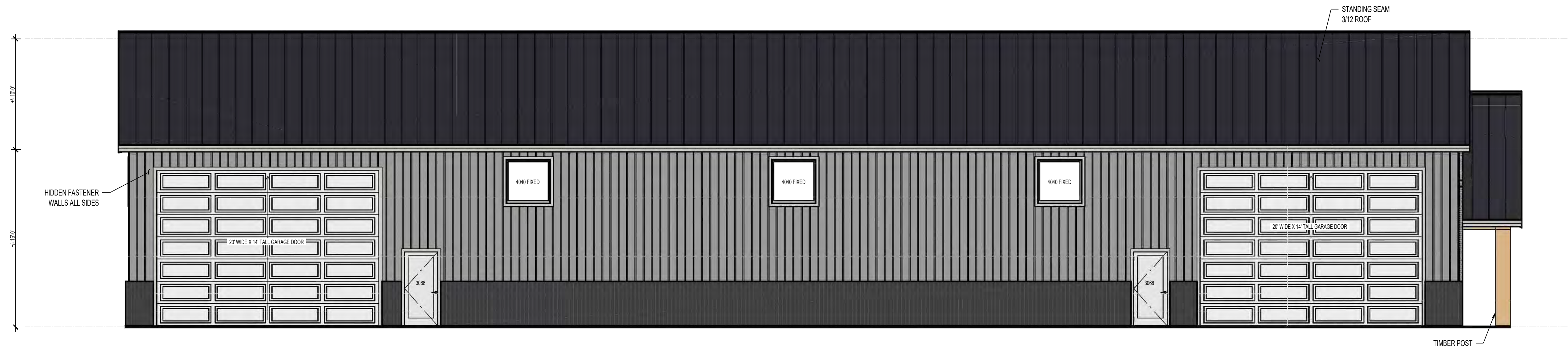
UPRIGHT DESIGN & CONSULTING LLC
48 WEST SUNNY SIDE DRIVE
ST. PETERS, MO 63376
PHONE: 314-805-5105



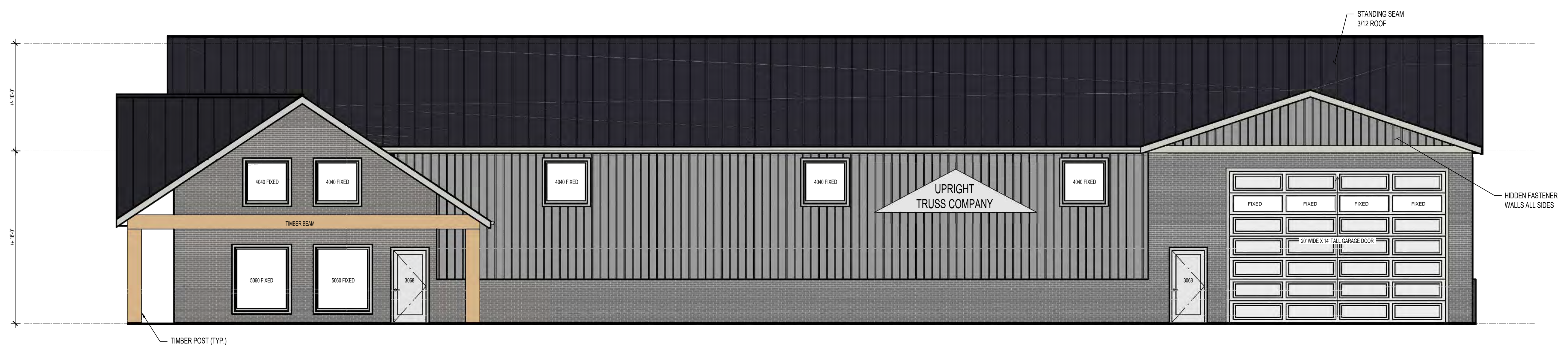
DATE: 2/24/26
CHECKED: GCC
DRAWN: SK
SCALE: AS SHOWN

ELEVATIONS
2150 SALT RIVER RD.
UPRIGHT TRUSS COMPANY

SHEET NO. 4



BACK ELEVATION
SCALE: 1/8"=1'-0"



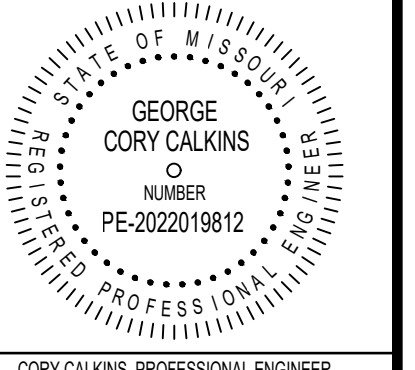
FRONT ELEVATION
SCALE: 1/8"=1'-0"



SIDE ELEVATION
SCALE: 3/8"=1'-0"



SIDE ELEVATION
SCALE: 3/8"=1'-0"



CORY CALKINS, PROFESSIONAL ENGINEER
LICENSE # PE-202219812

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NO.	DATE	REMARKS	ISSUE / REVISION DESCRIPTIONS

UPRIGHT DESIGN & CONSULTING LLC
48 WEST SUNNY SIDE DRIVE
ST. PETERS, MO 63376
PHONE: 314-805-5105



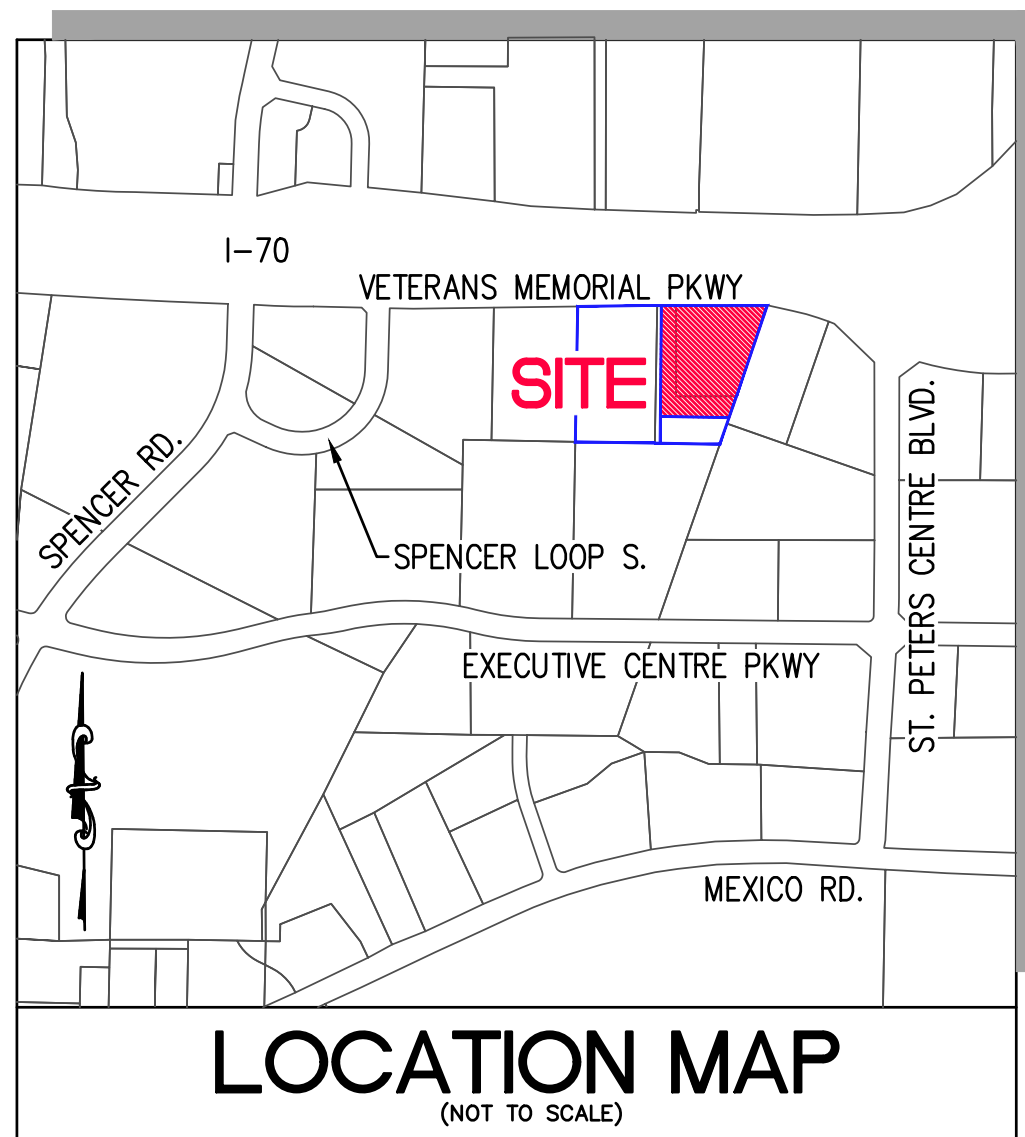
DATE: 2/24/26
CHECKED: GCC
DRAWN: SK
SCALE: AS NOTED

ELEVATIONS
2150 SALT RIVER RD.
UPRIGHT TRUSS COMPANY

SHEET NO. 5
5 OF 5

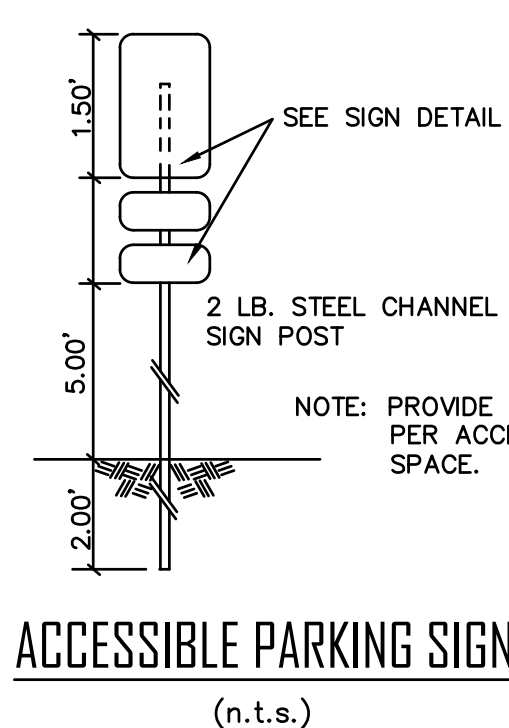
SITE PLAN ST. CHARLES AUTOMOTIVE GENESIS SERVICE EXPANSION

A TRACT OF LAND BEING LOT 1 OF LENOX KNOLL ONE AS RECORDED IN PLAT BOOK 20, PAGE 168 AND PART OF LOT 1 OF PIPE SUBDIVISION AS RECORDED IN PLAT BOOK 44, PAGE 224, LOCATED IN TOWNSHIP 47 NORTH, RANGE 4 EAST CITY OF ST. PETERS, ST. CHARLES COUNTY, MISSOURI



SHEET INDEX

- CSP1 SITE PLAN
- L-1 & L-2 PLANTING PLAN
- E0.3A ELECTRICAL SITE PHOTOMETRIC PLAN
- COLOR BUILDING ELEVATIONS



PROPOSED LEGEND

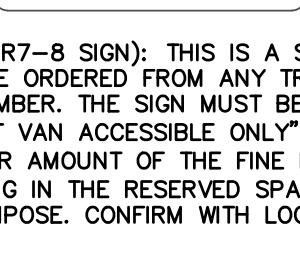
- PROPOSED CONTOUR 442
- PROPOSED SPOT 442.25
- PROPOSED STORM
- PROPOSED SANITARY
- PROPOSED UTILITIES

EXISTING LEGEND

- BENCH MARK
- FOUND IRON ROD
- FOUND IRON PIPE
- RIGHT OF WAY MARKER
- UTILITY POLE SUPPORT POLE
- UTILITY POLE WITH LIGHT
- LIGHT STANDARD
- ELECTRIC METER
- ELECTRIC MANHOLE
- ELECTRIC PEDESTAL
- ELECTRIC SPURCE BOX
- GAS DRIP
- GAS METER
- GAS VALVE
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- TELEPHONE SPURCE BOX
- CABLE TV PEDESTAL
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- WATER MANHOLE
- WATER METER
- WATER VALVE
- POST INDICATOR VALVE
- CLEAN OUT
- STORM MANHOLE
- STORMWATER INLET
- STORMWATER INLET
- SANITARY MANHOLE
- TREE
- BUSH
- GAS VALVE
- TRAP
- TRAPBAR
- TRAPBARREL
- TYP
- USE IN PLACE
- UNION
- UNLESS OTHERWISE NOTED
- VCP
- WATER
- W
- MAIL BOX

ABBREVIATIONS

- ATG - ADJUST TO GRADE
- B.C. - BACK OF CURB
- B.O. - BY OTHERS
- C.O. - CLEANOUT
- D.B. - DEED BOOK
- E. - ELECTRIC
- ELEV. - ELEVATION
- EX. - EXISTING
- F.C. - FACE OF CURB
- FF. - FINISHED FLOOR
- FL. - FLOORLINE
- FM. - FORCE MAIN
- FND. - FOUND
- FT. - FEET
- G. - GAS
- H.W. - HIGH WATER
- LFB. - LOW FLOW BLOCKED
- M.H. - MANHOLE
- N/F. - NOW OR FORMERLY
- NWL. - NORMAL WATER LEVEL
- PL. - PLAT BOOK
- PG. - PAGE
- PR. - PROPOSED
- PVC. - POLYVINYL CHLORIDE PIPE
- RCP. - REINFORCED CONCRETE PIPE
- R/W. - RIGHT-OF-WAY
- SLC. - ST. LOUIS COUNTY
- SQ. - SQUARE
- SO. - TELEPHONE CABLE
- T. - TO BE ABANDONED
- TBA. - TO BE ABANDONED
- TBR. - TO BE REMOVED
- TBR&R. - TO BE REMOVED AND REPLACED
- TBR&R&L. - TO BE REMOVED AND RELOCATED
- TYP. - TYPICAL
- USE IN PLACE
- UNION
- UNLESS OTHERWISE NOTED
- VCP. - VITRIFIED CLAY PIPE
- W. - WATER
- W. - RIGHT-OF-WAY WIDTH



NOTE (7'-8" SIGN): THIS IS A STANDARD SIGN AND MAY BE ORDERED FROM ANY TRAFFIC SIGN SUPPLIER BY NUMBER. THE SIGN MUST BE SUPPLEMENTED WITH A "LIFT VAN ACCESSIBLE ONLY" SIGN AS APPLICABLE AND/OR AMOUNT OF THE FINE FOR ILLEGALLY PARKING IN THE RESERVED SPACE(S) A MUNICIPALITY MAY IMPOSE. CONFIRM WITH LOCAL REGULATIONS.



GENERAL NOTES

- ALL UTILITIES, STRUCTURES AND UNDERGROUND FACILITIES HAVE BEEN PLOTTED FROM BEST AVAILABLE RECORDS. THEREFORE, THE RELATIONSHIP BETWEEN PROPOSED WORK AND EXISTING FACILITIES AND UTILITIES MUST BE CONSIDERED APPROXIMATE; AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR LOCATION AND THE EXISTENCE OF ANY NOT SHOWN. THE CONTRACTOR HAS THE RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES, PRIOR TO CONSTRUCTION, TO HAVE EXISTING UTILITIES FIELD LOCATED, UNCOVERED AND DEPTHS VERIFIED TO AVOID CONFLICTS.
- CONTRACTOR SHALL OBTAIN/COORDINATE ALL CONSTRUCTION AND UTILITY PERMITS.
- EXISTING TOPOGRAPHIC INFORMATION PROVIDED BY STOCK & ASSOCIATES CONSULTING ENGINEERS.
- ALL IMPROVEMENTS CONSTRUCTED HEREIN SHALL COMPLY WITH THE CODE OF ORDINANCES OF THE CITY OF ST. PETERS.
- SILTATION CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ADDITIONAL SILTATION CONTROL MAY BE REQUIRED AS DIRECTED BY THE CITY ENGINEER.
- WHEN GRADING OPERATIONS ARE COMPLETED OR SUSPENDED FOR MORE THAN 30 DAYS, PERMANENT GRASS MUST BE ESTABLISHED TO CONTROL EROSION.
- ALL MUD AND DEBRIS FROM CONSTRUCTION SITE TO BE KEPT OFF CITY MAINTAINED STREETS. STREETS SHALL BE SWEEPED TWICE DAILY.
- HANDICAP SPACES CANNOT HAVE A GRADE IN EXCESS OF 2% IN ANY DIRECTION.
- HANDICAP ACCESSIBLE ROUTES AND RAMPS CANNOT HAVE A CROSS SLOPE IN EXCESS OF 2%.
- ALL STREET AND SIDEWALK CONSTRUCTION IS TO BE PER THE LATEST ST. PETERS CITY STANDARDS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/DEVELOPER TO PROVIDE TRAFFIC CONTROL PER THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- ALL UTILITIES SHALL BE LOCATED UNDERGROUND.
- ALL FILLED PLACES UNDER PROPOSED STORM AND SANITARY SEWER AND/OR PAVED AREAS SHALL BE COMPACTED TO 90% OF MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED AASHTO T-180 COMPACTION TEST OR TO 95% OF MAXIMUM DENSITY AS DETERMINED BY THE STANDARD PROCTOR TEST AASHTO T-99.
- ALL FILLED PLACES IN PROPOSED ROADS SHALL BE COMPACTED FROM THE BOTTOM OF THE FILL UP TO 90% OF MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED AASHTO T-180 COMPACTION TEST OR TO 95% OF MAXIMUM DENSITY AS DETERMINED BY THE STANDARD PROCTOR TEST AASHTO T-99. ALL TESTS SHALL BE VERIFIED BY A SOILS ENGINEER CONCURRENT WITH GRADING AND BACKFILLING OPERATIONS.
- GRADES CANNOT EXCEED A 3:1 SLOPE.
- STORMWATER DESIGN SHALL BE IN ACCORDANCE WITH CITY CODE CHAPTER 550 STORMWATER MANAGEMENT.
- BASIC SOIL EROSION CONTROL PLAN TO BE UTILIZED DURING SITE DEVELOPMENT, AND SHALL COMPLY WITH CITY CODE CHAPTER 530 GRADING REGULATIONS.
- FIRE HYDRANTS SHALL BE PAINTED SILVER AND BLUE PER CITY REGULATIONS.
- ALL SIGNAGE TO BE PERMITTED SEPARATELY.
- ROOFTOP MECHANICAL UNITS SHALL BE SCREENED ON ALL SIDES.
- ALL POLE AND BUILDING MOUNTED LIGHTS TO BE DOWNCAST UNLESS DECORATIVE AND APPROVED BY THE PLANNING DEPARTMENT.
- THE SITE WILL COMPLY WITH CHAPTER 535 TREE AND LANDSCAPE REQUIREMENTS.
- TRASH ENCLOSURE TO BE MASONRY TO MATCH OR COMPLEMENT THE BUILDING WITH SITE PROOF OR METAL GATES.
- PLANS SUBJECT TO CHANGE PENDING AGENCY REVIEWS AND FINAL ENGINEERING.

MISSOURI DEPT. OF NATURAL RESOURCES BENCHMARK

BENCHMARK SC 01A
ELEV. = 544.22 (NAVD 1988)
THE STATION IS A MISSOURI DNR ORS ALUMINUM DISK STAMPED "SC 01A 1980" SET IN A 7 INCH (18 CM) DIAMETER CONCRETE MONUMENT FLUSH WITH THE GROUND SURFACE. THE STATION IS LOCATED AT 4170 W. CLAY STREET, IT IS 8.4 FT (2.0 M) NORTH OF THE EDGE OF PAVEMENT OF CLAY STREET, 32.0 FT (9.8 M) EAST OF MAILBOX POST 4170, 39.2 FT (11.9 M) SOUTHWEST OF THE NORTHEAST BOLT ON LIGHT POLE BASE, 17.4 FT (5.3 M) SOUTH OF A CARBONITE WITNESS POST, 16.6 FT (5.1 M) SOUTHWEST OF A CUT + ON NORTH RIM OF MANHOLE AND 24.1 SW OF A CUT + ON SW ANCHOR BOLT OF LIGHT POLE.

UTILITY NOTE:

UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS, RECORDS AND INFORMATION, AND THEREFORE DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NON-EXISTENCE, SIZE, TYPE, NUMBER, OR LOCATION OF THESE FACILITIES, STRUCTURES AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS. THE UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 519 RSMO.

DISCLAIMER:

STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC. AND THE UNDERSIGNED ENGINEER HAVE NO RESPONSIBILITY FOR SERVICES PROVIDED BY OTHERS TO IMPLEMENT THE IMPROVEMENTS SHOWN ON THIS PLAN AND ALL OTHER DRAWINGS WHERE THE UNDERSIGNED ENGINEER'S SEAL APPEARS. THE CONSTRUCTION MEANS AND METHODS ARE THE SOLE RESPONSIBILITY OF THE OWNER AND CONTRACTOR. STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC. HAS NO RESPONSIBILITY TO VERIFY FINAL IMPROVEMENTS AS SHOWN ON THIS PLAN UNLESS SPECIFICALLY ENGAGED AND AUTHORIZED TO DO SO BY THE OWNER OR CONTRACTOR.

FLOOD NOTE

SUBJECT PROPERTY LIES WITHIN FLOOD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) ACCORDING TO THE NATIONAL FLOOD INSURANCE RATE MAP NUMBER 29183C0261C WITH AN EFFECTIVE DATE OF 1-20-2016. BY GRAPHICALLY PLOTTING:

UTILITY CONTACTS

- | | | |
|--|---|--|
| <p>CITY OF ST. PETERS
ST. PETERS CITY HALL
ONE ST. PETERS CENTER BLVD.
ST. PETERS, MO 63376</p> <p>PLANNING = AILEE FORTNER, AICP
DIRECTOR OF PLANNING, COMMUNITY DEVELOPMENT AND ECONOMIC DEVELOPMENT
PH. (636) 477-6600 ext. 1300
power@stpetersmo.net</p> <p>ADMINISTRATOR = BILL MALACH
CITY ADMINISTRATOR
PH. (636) 477-6600 ext. 1306
bmalach@stpetersmo.net</p> <p>ENGINEERING = LIANE SARGENT, PE
DIRECTOR OF ENGINEERING AND CITY ENGINEER
PH. (636) 477-6600 ext. 1307
lsargent@stpetersmo.net</p> <p>WATER/SEWER = AMY HADDOCK
PH. (636) 477-6600 ext. 1321
ahaddock@stpetersmo.net</p> | <p>ELECTRIC = AMEREN MISSOURI - ST. CHARLES DISTRICT
2100 BLUESTONE DRIVE
ST. CHARLES, MO 63303
PH. (636) 325-3236
CONTACT: FELICIA CHILDS
felicia@ameren.com</p> <p>GAS = SPIRE
700 MARKET STREET
ST. LOUIS, MO 63101
CONTACT: PAT BLOOMFIELD
patbloomfield@spire.com
LAKELE GAS COMPANY
ENGINEERING
6400 GRAHAM ROAD
BERKELEY, MO 63134
CONTACT: NICK EGGERT
nick.eggert@lgs.com</p> <p>MUDOT = OFALLON AREA OFFICE
6780 OLD HIGHWAY W
OFALLON, MO 63304
PH. (314) 340-4334
CONTACT: GAIN BRADEN
gain.braden@mo.gov</p> <p>PHONE = AT&T
402 N. 3rd ST.
ST. CHARLES, MO 63301
PH. (636) 255-2100
CONTACT: MATTHEW S. THOMPSON
mt4308@att.com</p> | <p>FIRE = CENTRAL COUNTY FIRE AND RESCUE (CCFR)
1220 CANYON BLVD.
ST. PETERS, MO 63376
PH. (636) 870-9700 ext. 101
CONTACT: ASSISTANT CHIEF STEVE BROWN
steveb@ccfrmo.org</p> <p>CABLE = CHARTER COMMUNICATIONS MAPPING & DESIGN
541 CHARTER COMMING DRIVE
TOWN AND COUNTY, MO 63017
CONTACT: D.CENTRIS@statesconstruction@charter.com</p> |
|--|---|--|

- ## PERTINENT DATA
- SITE ACREAGE = 2.71 AC.
 - ZONED = CPD ORD. 7718
 - FIRE DISTRICT = CENTRAL COUNTY FIRE AND RESCUE
 - SCHOOL DISTRICT = FORT ZUMWALT
 - SITE ADDRESS = 5601 VETERANS MEMORIAL PARKWAY
 - SITE ZIP CODE = 63376
 - PARCEL ID = 2-0109-5229-00-0001.00

- ## BUILDING SETBACKS:
- AS ESTABLISHED PER ORDINANCE 4392 AND AS SHOWN ON EXHIBIT A
- ## PARKING:
- PER CITY OF ST. PETERS ZONING AND SUBDIVISION REGULATIONS SEC.405.555
RETAIL AND SERVICE USES - AUTOMOBILE SALES
MINIMUM REQUIRED: 3 SPACES PER 1,000 SQUARE FEET OF GROSS FLOOR AREA, PLUS
1 SPACE PER EVERY 2,000 SQUARE FEET OF GROSS LAND AREA
- REQUIRED:
18,598 SF BLDG. x 3/1,000 = 56 SPACES
118,123 SF LAND x 1/2,000 = 59 SPACES
TOTAL = 115 SPACES
- PROVIDED:
198 SPACES LOCATED ENTIRELY ON PROPOSED LOT G3 OF GENESIS ONE
(INCLUDES 3 ACCESSIBLE BASED ON 56 REQUIRED FOR THE BUILDING)



PREPARED FOR:
SCA
56225 VETERANS MEMORIAL PARKWAY
ST. PETERS, MO. 63376
ATTN: MR. KEVIN MAHER

MoDOT LOCATE (314) 340-4100

PREPARED BY:
Stock & Associates
Consulting Engineers, Inc.
257 Chesterfield Business Parkway
St. Louis, MO 63015 PH. (636) 530-9300
500-9300 FAX (636) 530-9300
e-mail: general@stockassoc.com
Web: www.stockassoc.com

SITE PLAN FOR:
**ST. CHARLES AUTOMOTIVE
GENESIS EXPANSION**
5601 VETERANS MEMORIAL PARKWAY
SAINT PETERS, MO 63376



02/24/2026

GEORGE M. STOCK E-25116
CIVIL ENGINEER
CERTIFICATE OF AUTHORITY
NUMBER: PE-29116
ISSUED: 05/09/96

REVISIONS:

0	01/28/2026-ISSUE	G.M.S.
1	02/24/2026-CITY COMMENTS	G.M.S.

DRAWN BY: G.M.S.
CHECKED BY: G.M.S.
DATE: 01/23/2026
JOB NO.: 220-6880-0
SCALE: ST. PETERS PAZ

ST. PETERS ENG

SHEET TITLE:
SCA - GENESIS
EXPANSION
SITE PLAN

SHEET NO.:
CSP1

REVISIONS	BY
10/9/2022	RAM

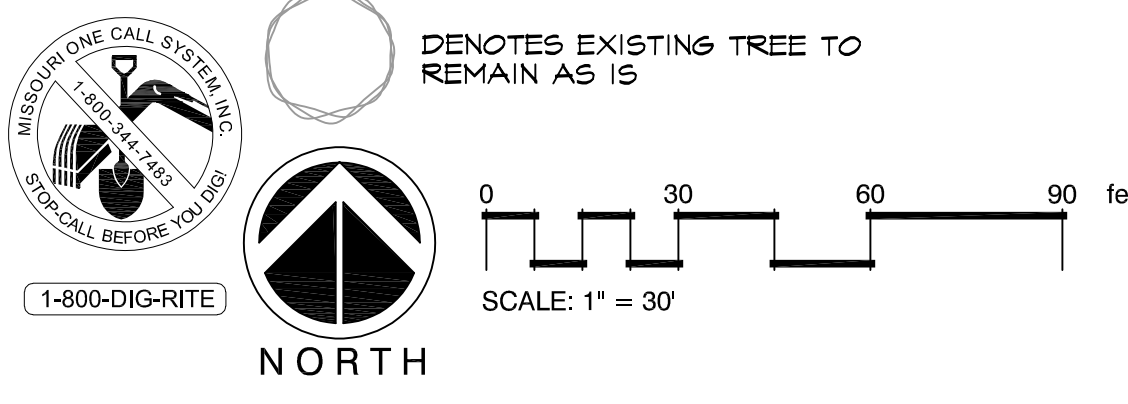
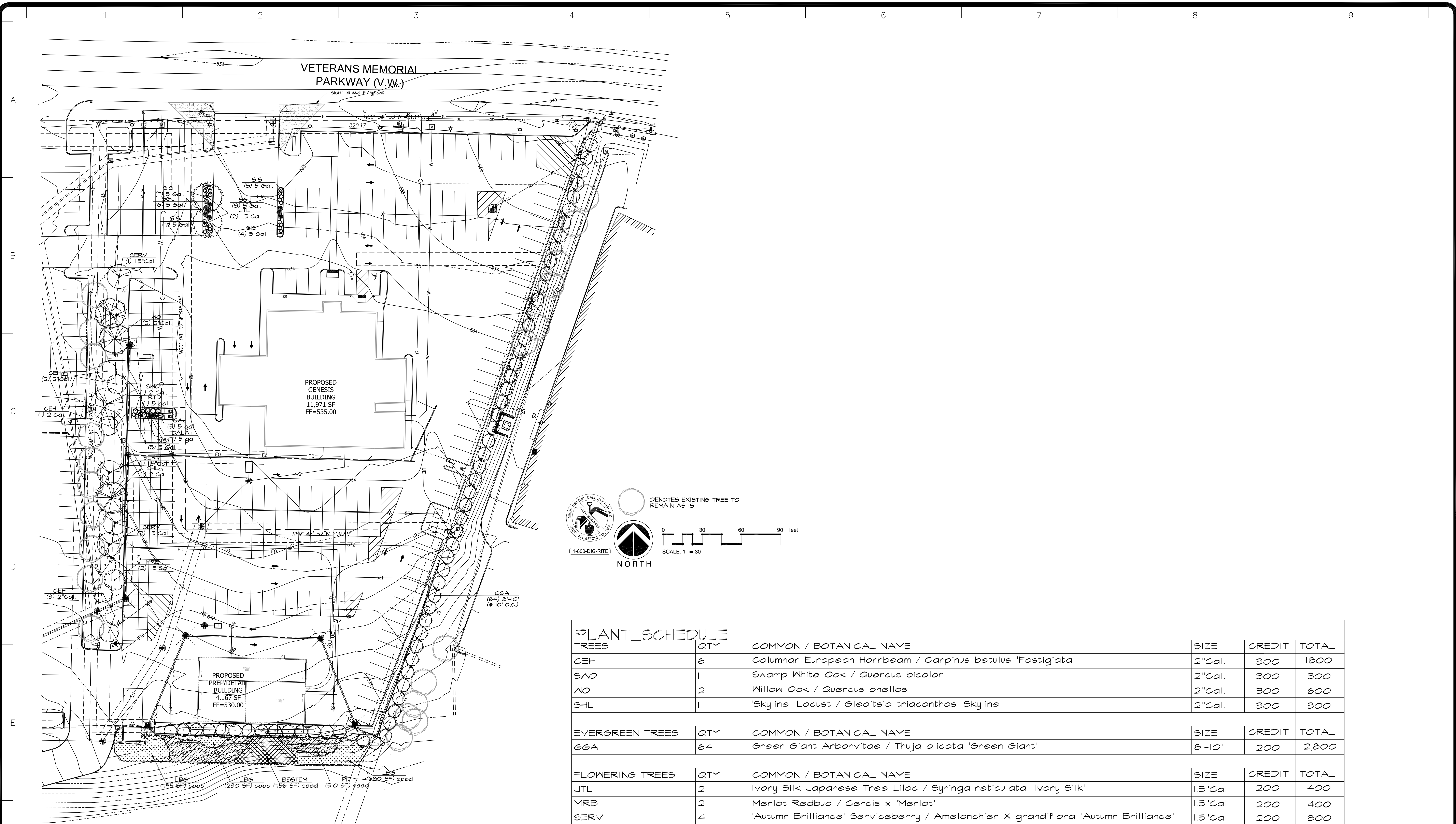
Landscare
TECHNOLOGIES
67 Jacque Creek Drive
St. Louis, MO 63105
Tel: 314.221.1111
Fax: 314.221.1112

RANDALL R. MARDIS
MISSOURI LANDSCAPE ARCHITECT #000019
DATE: 10/9/2022
REGISTERED
MARDIS
NUMBER
019

**PLANTING PLAN FOR THE PROPOSED
Genesis of Saint Charles**
5601 VETERANS MEMORIAL PKWAY ST. PETERS, MO 63376

DRAWN
R. MARDIS
CHECKED
RAMMEL
DATE
8/25/2022
SCALE
1"=30'-0"
JOB No.
2022-163
SHEET

L-1
OF TWO SHEETS



PLANT SCHEDULE

TREES	QTY	COMMON / BOTANICAL NAME	SIZE	CREDIT	TOTAL
CEH	6	Columnar European Hornbeam / <i>Carpinus betulus</i> 'Fastigiata'	2" Cal.	300	1800
SNO	1	Swamp White Oak / <i>Quercus bicolor</i>	2" Cal.	300	300
WO	2	Willow Oak / <i>Quercus phellos</i>	2" Cal.	300	600
SHL	1	'Skyline' Locust / <i>Gleditsia triacanthos</i> 'Skyline'	2" Cal.	300	300
EVERGREEN TREES					
GSA	64	Green Giant Arborvitae / <i>Thuja plicata</i> 'Green Giant'	8'-10'	200	12,800
FLOWERING TREES					
JTL	2	Ivory Silk Japanese Tree Lilac / <i>Syringa reticulata</i> 'Ivory Silk'	1.5" Cal	200	400
MRB	2	Merlot Redbud / <i>Cercis x 'Merlot'</i>	1.5" Cal	200	400
SERV	4	'Autumn Brilliance' Serviceberry / <i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	1.5" Cal	200	800
SHRUBS					
RTD	1	Bailey's Red-twig Dogwood / <i>Cornus sericea</i> 'Cardinal'	5 gal	40	40
CAJ	5	Compact Andorra Juniper / <i>Juniperus horizontalis</i> 'Plumosa Compacta'	5 gal	20	100
SIS	28	Scantlandia Sweetspire / <i>Itea virginica</i> 'SMNIVDFC' TM	5 Gal.	20	560
SGJ	9	Sea Green Juniper / <i>Juniperus chinensis</i> 'Sea Green'	5 Gal.	50	450
GRASSES					
CALA	7	Foerster's Reed Grass / <i>Calamagrostis acutifolia</i> 'Karl Foerster'	5 gal	10	70
NATIVE GRASSES					
	756 sf	Big Bluestem / <i>Andropogon gerardii</i>	SEED @ 6 LBS / 1000 SF		
	1,705 sf	Little Bluestem Grass / <i>Schizachyrium scoparium</i>	SEED @ 1 LB / 1000 SF		
	510 sf	Prairie Dropseed / <i>Sporobolus heterolepis</i>	SEED @ 1 LB / 5000 SF		
					GRAND TOTAL = 18,620 CREDITS

PLEASE NOTE: AS A CONDITION OF FINAL APPROVAL, AN IRRIGATION PLAN (By Others) SHALL BE SUBMITTED FOR APPROVAL PRIOR TO CONSTRUCTION.

LANDSCAPE CALCULATIONS:
 - TOTAL SITE AREA = 9.37 ACRES (Approx. 146,791 Sq. Ft.)
 - TOTAL BUILDING FOOTPRINT AREA = 0.26 ACRE (Approx. 11,141 Sq. Ft.)
 - TOTAL OPEN SPACE CONSISTS OF PAVEMENT, GREEN SPACE AND ALL AREAS NOT COVERED BY A PERMANENT STRUCTURE. THEREFORE, OPEN SPACE = 5.11 ACRES (Approx. 135,494 Sq. Ft.)
 - TOTAL IMPERVIOUS AREA = ASPHALT PAVEMENT AND CONCRETE SIDEWALK = 2.68 AC (93.2% OF SITE)
 - LANDSCAPING @ PARKING LOTS: ONE TREE PER FOUR SPACES IS REQUIRED
 - TOTAL SPACES = 367; THEREFORE, NINETY TWO (92) TREES ARE REQUIRED & PROVIDED
 - TOTAL OPEN SPACE = TOTAL LOT SQ. FT. = 92.3% OF SITE, REQUIRING 10% OF THE TOTAL LOT SIZE IN CREDITS; THEREFORE, 10% OF 146,791 SQ. FT. = 14,680 CREDIT POINTS ARE REQUIRED/ 14,710 PROPOSED NOTE.

ALL TURF AREAS AND LANDSCAPING TO BE MAINTAINED PER CITY REQUIREMENTS BY PROPERTY OWNER.
 LANDSCAPE TO COMPLY WITH CHAPTER 530 - TREE AND LANDSCAPE REQUIREMENTS & OBTAIN COMPLIANCE APPROVAL.

ALL SHADE TREES TO BE MINIMUM 1.5" CALIPER
 ALL ORNAMENTAL TREES TO BE MINIMUM OF 6' TALL
 ALL EVERGREEN TREES TO BE A MINIMUM OF 5' TALL

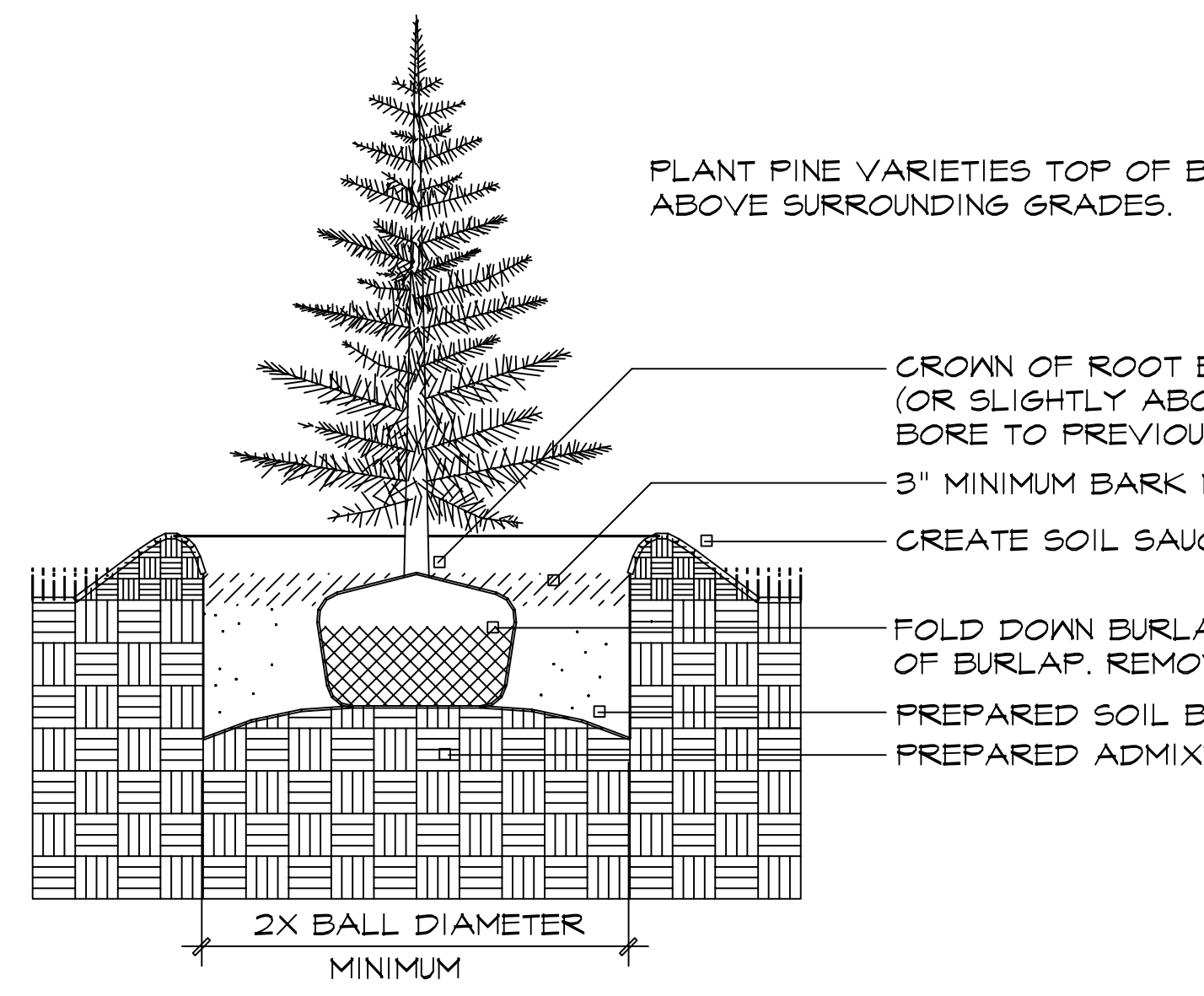
PLEASE NOTE:
 - ALL PLANTING BEDS TO BE EDGED w/ SPADE-CUT EDGE UNLESS OTHERWISE NOTED.
 - ADJUST TREE LOCATIONS FOR LIGHT STANDARDS AND UNDERGROUND UTILITIES.
 - NO TREES OR OTHER OBSTRUCTIONS SHALL BE LOCATED WITHIN SIX (6) FEET OF FIRE HYDRANTS.
 - ALL SHRUBS/PERENNIALS WITHIN SIGHT TRIANGLE ZONES TO BE MAINTAINED AT A MAXIMUM HEIGHT OF TWENTY FOUR (24) INCHES.
 - FOUR INCHES (2 FEET); ALL TREES TO BE MAINTAINED WITH A CLEAR HEIGHT FROM GRADE OF TEN (10) FEET.
 - ALL LANDSCAPE AREAS & ISLANDS SHALL BE PROVIDED WITH A MECHANICAL IN-GROUND IRRIGATION SYSTEM (BY OTHERS). COORDINATE LANDSCAPING WITH IRRIGATION CONTRACTOR.

LANDSCAPE GUIDELINE SPECS:

- GENERAL:**
- All natural vegetation shall be maintained where it does not interfere with construction or the permanent plan of operation. Every effort possible shall be made to protect existing structures or vegetation from damage due to equipment usage. Contractor shall at all times protect all materials and work against injury to public. The landscape contractor shall be responsible for any coordination and sequencing with other site related work being performed by other contractors. Refer to additional drawings for further coordination of work to be done.
 - Underground facilities, structures and utilities must be considered approximate only. There may be others not presently known or shown. It shall be the landscape contractor's responsibility to determine or verify the existence of and exact location of the above (Call utility location services in municipality).
 - Plant material are to be planted in the same relationship to grade as was grown in nursery conditions. All planting beds shall be cultivated to 6" depth minimum and graded smooth immediately before planting of plants. Plant groundcover to within 12" of trunk of trees or shrubs planted within the area.
 - It shall be the landscape contractor's responsibility to:
 - Verify all existing and proposed features shown on the drawings prior to commencement of work.
 - Report all discrepancies found with regard to existing conditions or proposed design to the landscape architect immediately for a decision.
 - Stake the locations of all proposed plant material and obtain the approval of the owner's representative or landscape architect ten (10) days prior to installation.
 - Items shown on this drawing take precedence over the material list. It shall be the landscape contractor's responsibility to verify all quantities and to implement or to implement of this plan. No substitutions of types or size of plant materials will be accepted without written approval from the landscape architect.
 - Provide single-stem trees unless otherwise noted in plant schedule.
 - All plant material shall comply with the recommendations and requirements of ANSI Z601 "American Standards for Nursery Stock". It shall be the contractor's responsibility to provide for inspection of the plant material by the Landscape Architect (or Owners Representative) prior to acceptance. Inspections may take place before, during or after installation. Plants not conforming exactly to the plant list will not be accepted and shall be replaced at the landscape contractor's expense.
 - All bids are to have unit prices listed. The Owner has the option to delete any portion of the contract prior to signing the contract or beginning work. This will be a unit price contract; quotes shall be valid for 12 months.
 - Should auger equipment be utilized in excavating any plant pits, vertical sides of plant pits shall be thoroughly scarified to avoid creation of 'polished side walls' prior to plant material installation.
 - All excess topsoil, rocks, debris and/or tainted soils shall be removed by the general contractor prior to point project is turned over to the landscape contractor to commence landscape installation.
 - Keep all plant material (except turf) a minimum of 36" clear of fire hydrants.
 - Landscape contractor shall kill & remove all existing weeds within the project site.
 - All tags, nursery stakes, labels, etc. shall be removed by the landscape contractor at completion of all landscape installation.
 - Landscape contractor shall be in compliance with all federal, state and local laws / regulations relating to insect infestation and/or plant diseases.
 - All substitutions of plant material shall be submitted to landscape architect for approval.
 - An automatic, underground irrigation system is required. See guideline notes, this sheet for additional information.

- PRUNING:**
- Lightly prune trees at time of planting. Prune only the crossover limbs, intermingled leaders and/or any broken branches. Some interior twigs and lateral branches may be pruned, however, do not remove the terminal buds of branches that extend to the edge of the crown.
 - All pruning shall comply with ANSI A300 standards.
- INSURANCE:**
- The landscape contractor shall submit certificates of insurance for workman's compensation and general liability to Owners' representative.

- MULCH:**
- All mulch to be shredded oak bark mulch at 3" depth (after compaction) unless otherwise noted. Mulch shall be clean and free of all foreign materials, including weeds, mold, deleterious materials, etc.
 - No plastic sheeting or filter fabric shall be placed beneath shredded bark mulch beds. Mirafi fabric shall be used beneath all gravel mulch beds. Lap fabric 6" over adjacent coverages.
 - Edge all beds with spade-cut edge unless otherwise noted.



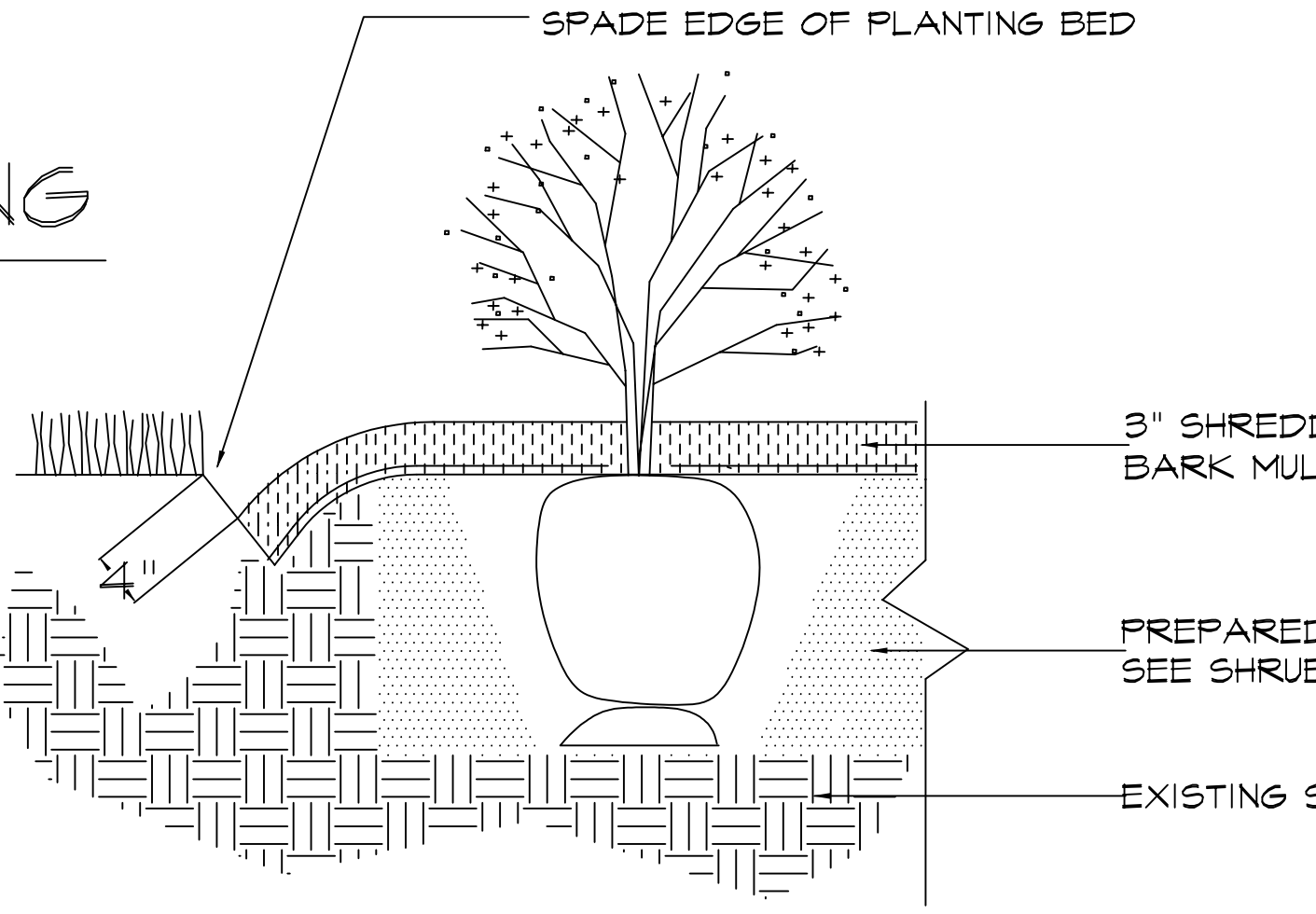
EVERGREEN TREE PLANTING
N.T.S.

- MAINTENANCE:**
- Landscape Contractor shall provide a separate proposal to maintain all plants, shrubs, groundcover, perennials and annuals for a period of 12 months after acceptance.
 - Contractor shall ensure that only competent and trained personnel shall provide such services and that such services be provided in a timely manner.
 - Watering of seeded or sodded lawns shall begin immediately and shall continue to be provided continuously for the following 72 hours. Regardless, the landscape contractor shall be responsible for all landscape maintenance until project turnover.
- SIGHT TRIANGLES:**
- No landscape material or other obstructions shall be placed or be maintained within the sight distance area so as not to impede the vision between a height of thirty inches (30") and ten feet (10') above the adjacent street or paving surfaces.
 - Sight triangles at the intersection of a public street and a private access way shall be formed by measuring from the point of intersection of the street frontage curbs and the entrance curb lines a distance of 35' and connecting the points so established to form the sight triangle.

- TOPSOIL:**
- Topsoil mix for all proposed landscape plantings shall be five (5) parts well-drained screened organic topsoil to one (1) part Canadian sphagnum peat moss as per planting detail. Ratio-till topsoil mix to a depth of 6" minimum and grade smooth.
 - Provide a soil analysis, as requested, made by an independent soil-testing agency outlining the % of organic matter, inorganic matter, deleterious material, pH and mineral content.
 - Any foreign topsoil used shall be free of roots, stumps, weeds, brush, stones (larger than 1"), litter or any other extraneous or toxic material. Landscape contractor shall be fully responsible for correcting all negative soil issues prior to plant installation. Killing and removal of all weeds shall be the responsibility of the landscape contractor as part of this task.
 - Landscape contractor to apply pre-emergent herbicide to all planting beds upon completion of planting operations and before application of shredded bark mulch.
 - Install siltation controls prior to commencement of any grading operations. Inspect and maintain all siltation fences on a weekly basis until vegetation is established.

- TURF:**
- All disturbed lawn areas to be seeded with a mixture of Turf-Type fescue (50% per acre) and bluegrass (5% per acre). Lawn areas shall be unconditionally warranted for a period of 90 days from date of final acceptance. Bare areas more than one square foot per any 50 square feet shall be replaced.
 - Seed and fertilization operations shall occur between May 1 and June 15th or between September 1 and October 15th unless directed by others in writing AND irrigation system is operating. Granular or pelleted fertilizer consisting of 50% water-insoluble slow release nitrogen, phosphorous and potassium in a 12-12-12 composition.
 - The turf contractor shall be responsible for protection of finished grade; restore and repair any erosion or water damage and obtain owners' approval prior to seeding or sod installation.
 - Landscape contractor shall offer an alternate price for sod in lieu of seed. Sod shall be cut at a uniform thickness of 3/4". No broken pieces, irregular pieces or torn pieces will be accepted.
 - Any points carrying concentrated water loads and all slopes of 15% or greater shall be sodded.
 - All sod shall be placed a maximum of 24 hours after harvesting.
 - Recondition existing lawn areas damaged by Contractor's operations including equipment material storage and movement of vehicles.
 - Sod Contractor to ensure sod is placed below sidewalk and all paved area elevations to allow for proper drainage.

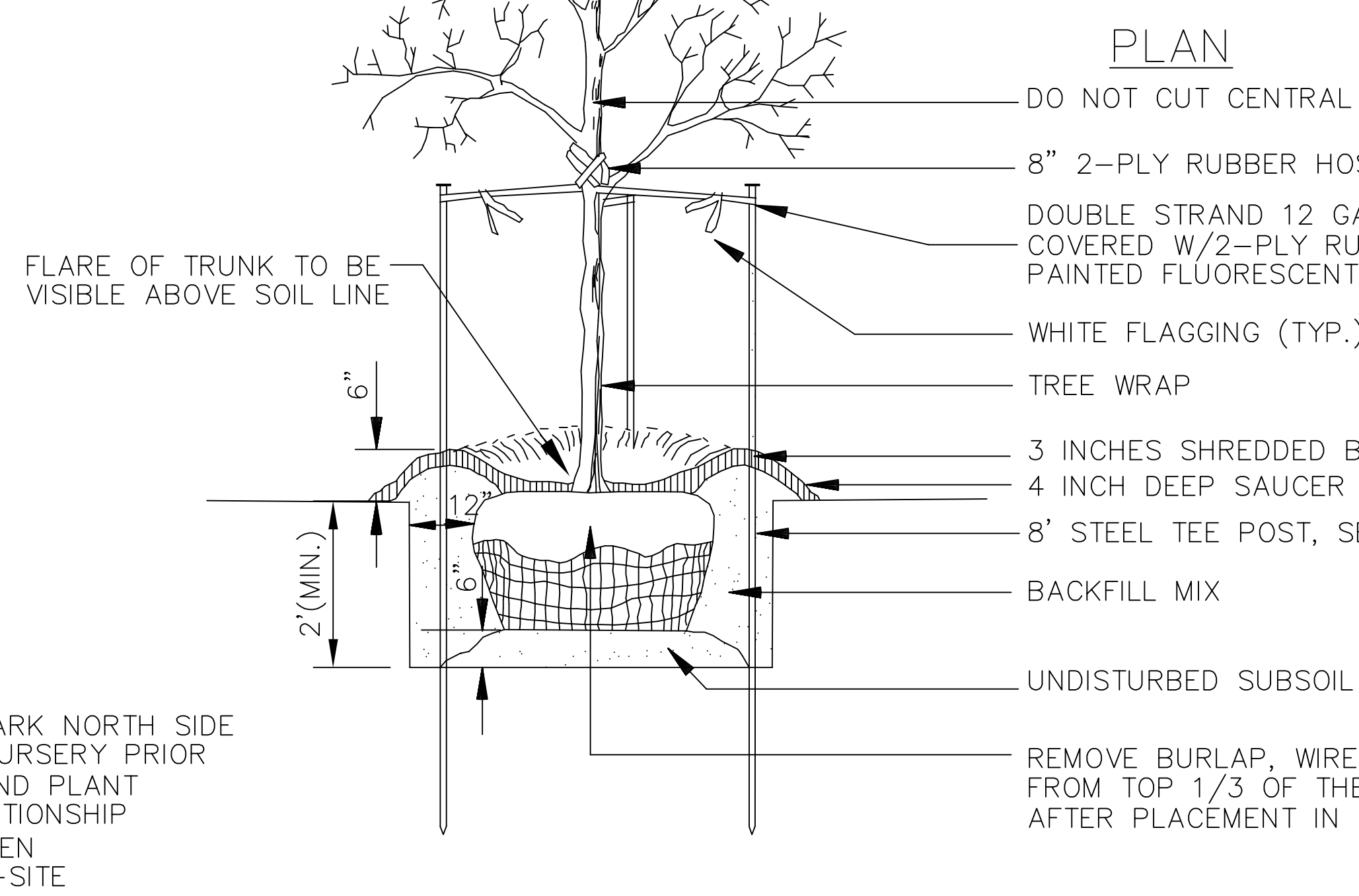
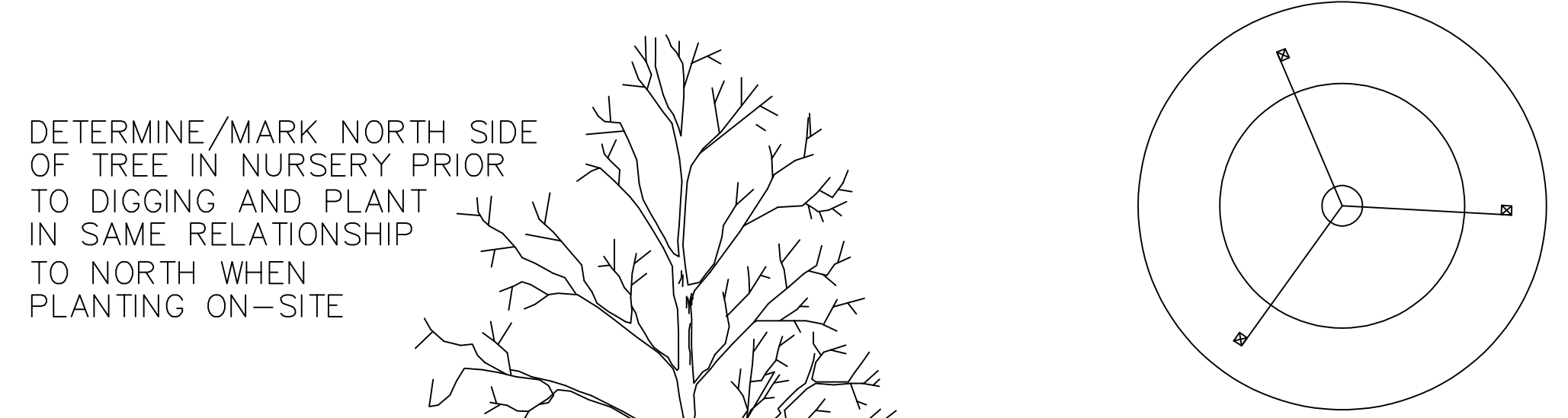
- WARRANTY:**
- All plant material (excluding ground cover, perennials and annuals) are to be warranted for a period of 12 months after complete installation of all landscape material at 100% of the installed price.
 - Any plant material found to be defective shall be removed and replaced within 90 days of notification or in growth season determined to be best for that plant.
 - Only one replacement per tree or shrub shall be required at the end of the warranty period, unless loss is due to failure to comply with the warranty.
 - Lawn establishment period will be in effect once the lawn has been mowed three times. Plant establishment period shall commence on the date of acceptance and 100% completion.
 - A written guarantee shall be provided to the owner per conditions outlined in #1, above.



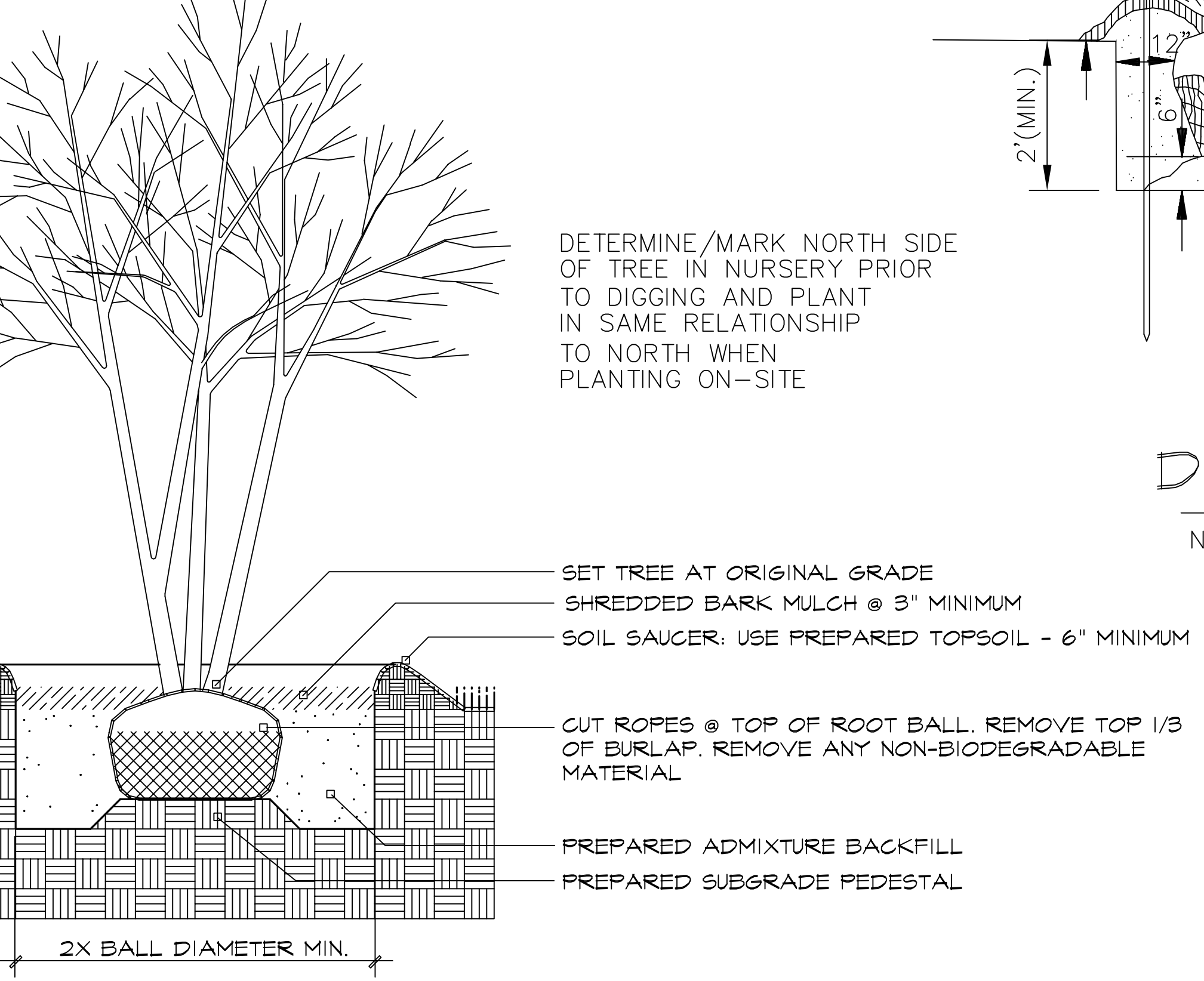
SPADE-CUT EDGE DETAIL
N.T.S.

IRRIGATION GUIDELINE SPECS:

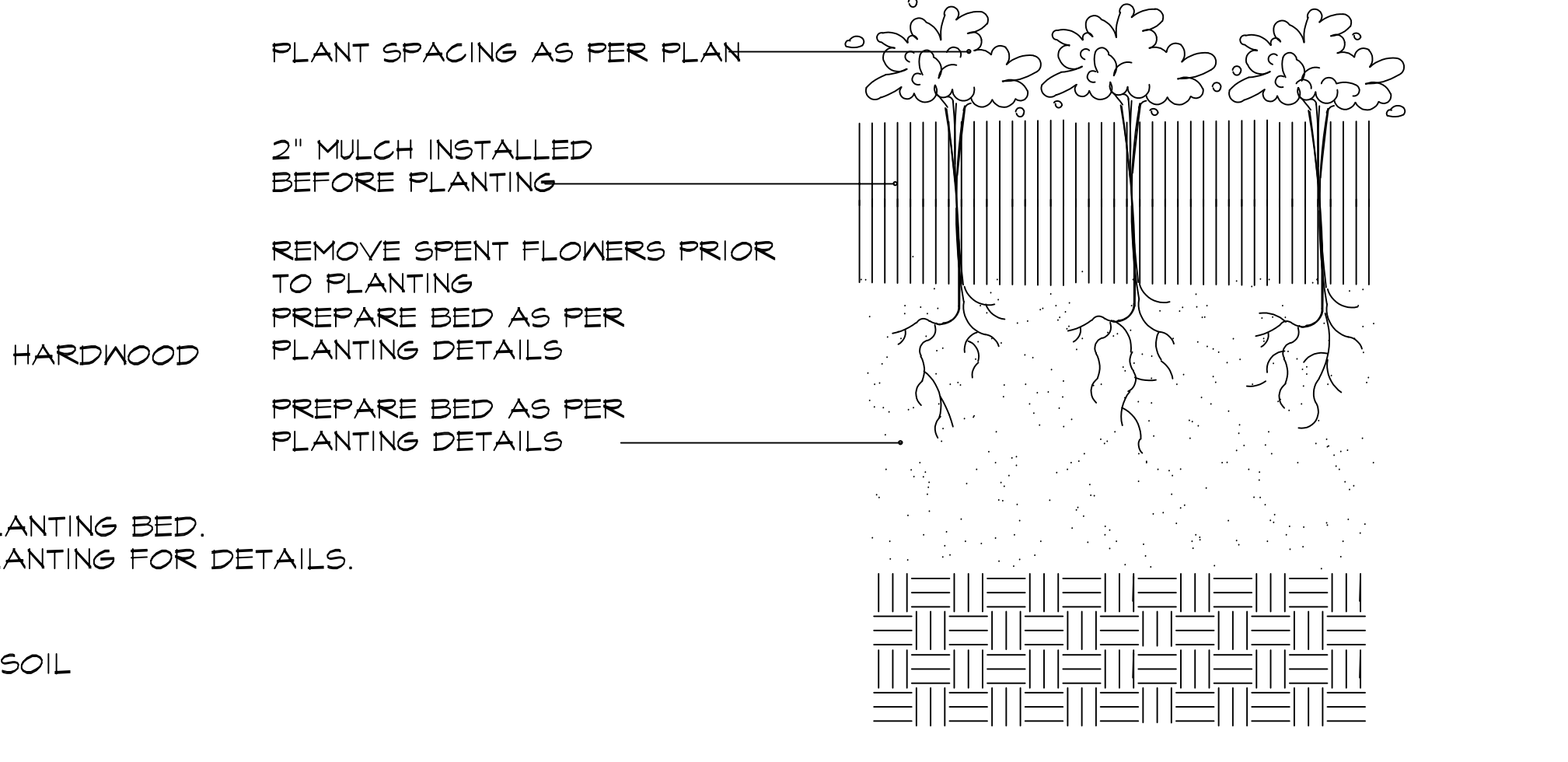
- GENERAL:**
- System shall be designed for 30 gpm @ 80 PSI. Contractor to field verify actual conditions.
 - Exact top, backflow and controller location to be coordinated with owner or owner's representative.
 - All control wiring to be 14 ga. Minimum 3 extra strands to be installed in each direction from the controller to the end of the mainline.
 - All piping to be sleeved in SCH40 PVC when passing under hardscape. PVC Sleeve to be a minimum of twice the size of pipe(s) running through.
 - Underground facilities, structures and utilities must be considered approximate only. There may be others not presently known or shown. It shall be the irrigation contractor's responsibility to determine or verify the existence of and exact location of the above (Call 1-800-DIG-RITE).
 - It shall be the irrigation contractor's responsibility to:
 - Verify all existing and proposed features shown on the drawings prior to commencement of work.
 - Report all discrepancies found with regard to existing conditions or proposed design to the landscape architect immediately for a decision.
 - All landscaped areas shall have installed an automatic, permanent irrigation system - designed to cover all landscape areas. Irrigation shall be design / build.



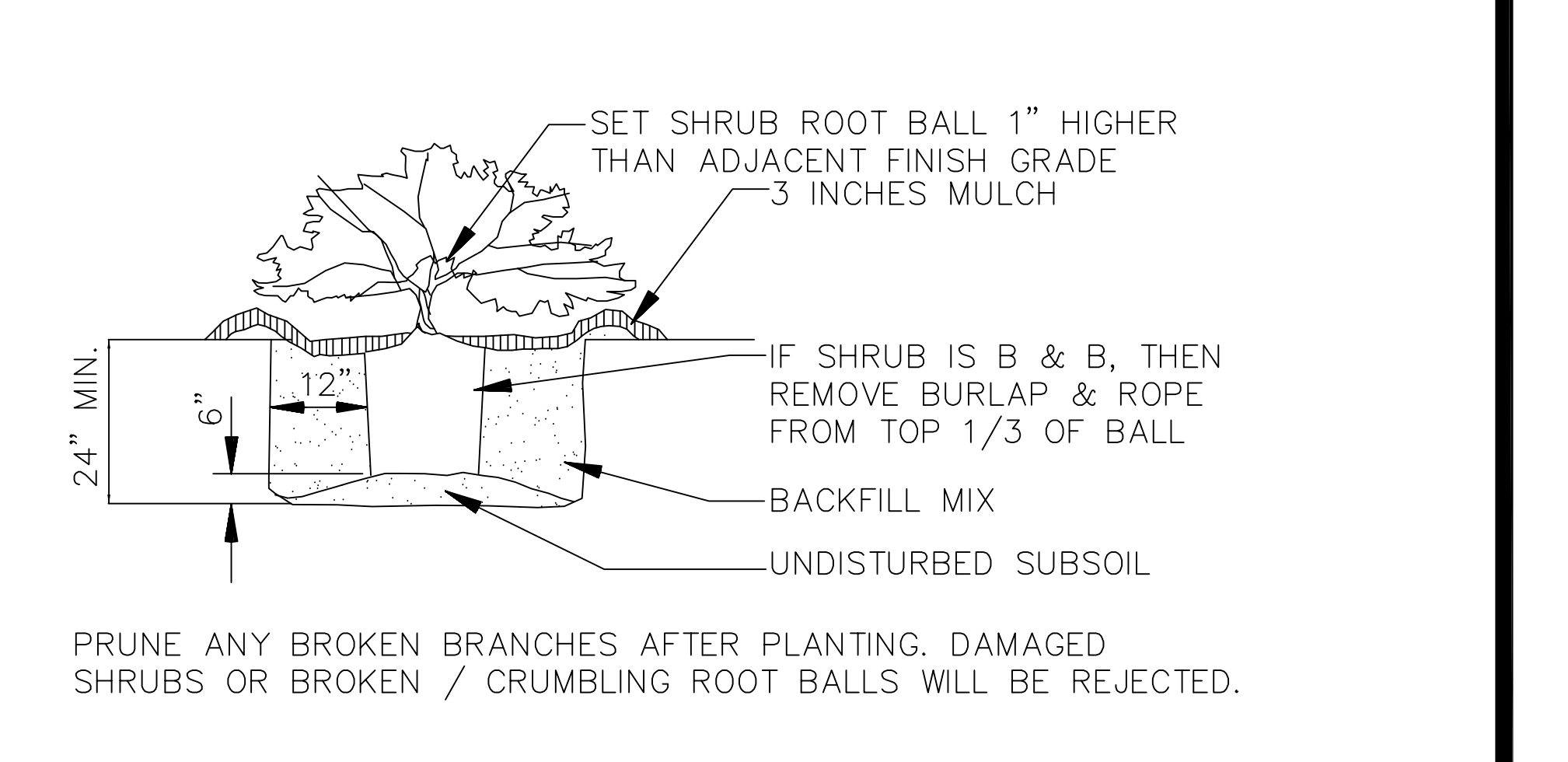
DECIDUOUS TREE PLANTING
N.T.S.



MULTI-STEM TREE PLANTING
N.T.S.



PERENNIAL / ANNUAL PLANTING
N.T.S.



SHRUB PLANTING
N.T.S.

REVISIONS	BY
10/9/2022	RAM

LANDSCAPE TECHNOLOGIES
 6714 JACOBS CREEK DRIVE, SUITE 100
 ST. PETERS, MO 63376
 (636) 478-1250
 FAX (636) 478-1251
 MO: 52020000100

RANDALL R. MARDIS
 MISSOURI LANDSCAPE ARCHITECT #000018
 DATE: 10/9/2022

PLANTING PLAN FOR THE PROPOSED
Genesis of Saint Charles
 5601 VETERANS MEMORIAL PKWAY ST. PETERS, MO 63376

DRAWN	CHECKED
R. MARDIS	RAM/ML
DATE	8/25/2022
SCALE	N.A.
JOB No.	2022-163
SHEET	L-2
OF TWO SHEETS	

DESCRIPTION

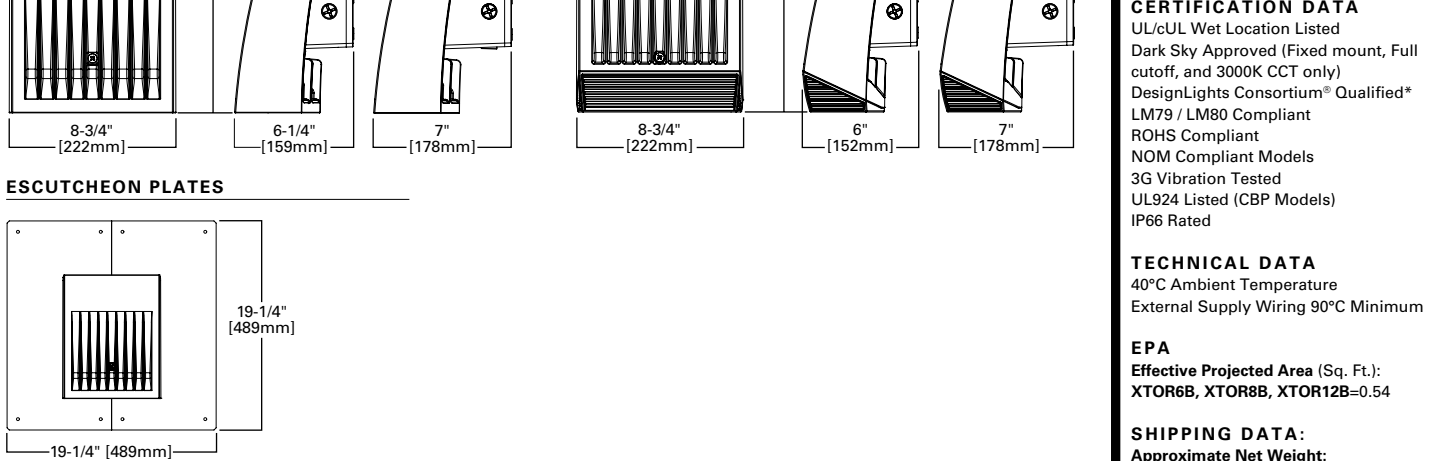
Table with columns: Catalog #, Type, Project, Date, Comments, Prepared by. Includes project name 'R, RE' and date '10/26/22'.

SPECIFICATION FEATURES

Construction: Low profile die cast aluminum back box and hinged removable door. Matching housing refractive lens design. Full cutoff and refractive lens design. Full cutoff and refractive lens design.

Electrical: LED driver is mounted to the die cast aluminum housing for safe and easy tool-less electrical connections with the supplied push-in connectors. Back box includes four 1/2" NPT threaded conduit entry points.

Optical: Full cutoff and refractive lens design incorporates a custom engineered reflector providing high efficiency illumination. Full cutoff models integrate an impact resistant refractive prism optical lens assembly meeting requirements for Dark Sky compliance.



XTOR CROSSTOUR MAXX LED

Tables for Power and Lumens by Fixture Model, listing specifications for SBW, BTW, and S2W series models.

Table for Egress Information, listing specifications for XTOR10B and XTOR10B Refractive Lens Egress LED.

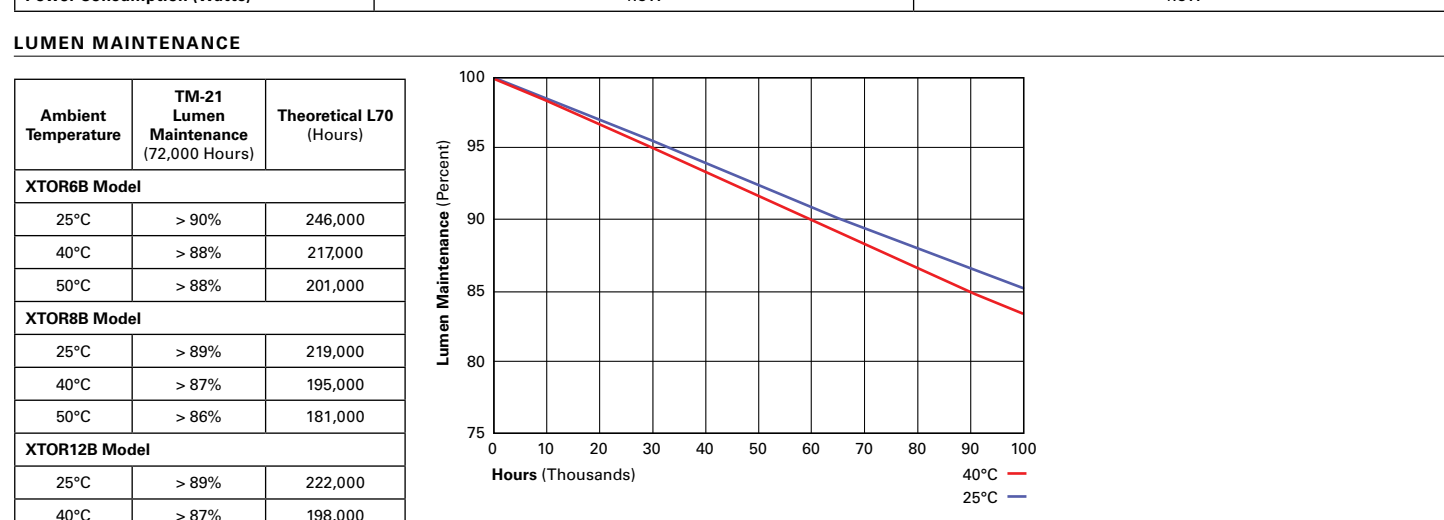


Table for Current Draw, listing model series and their corresponding electrical specifications.

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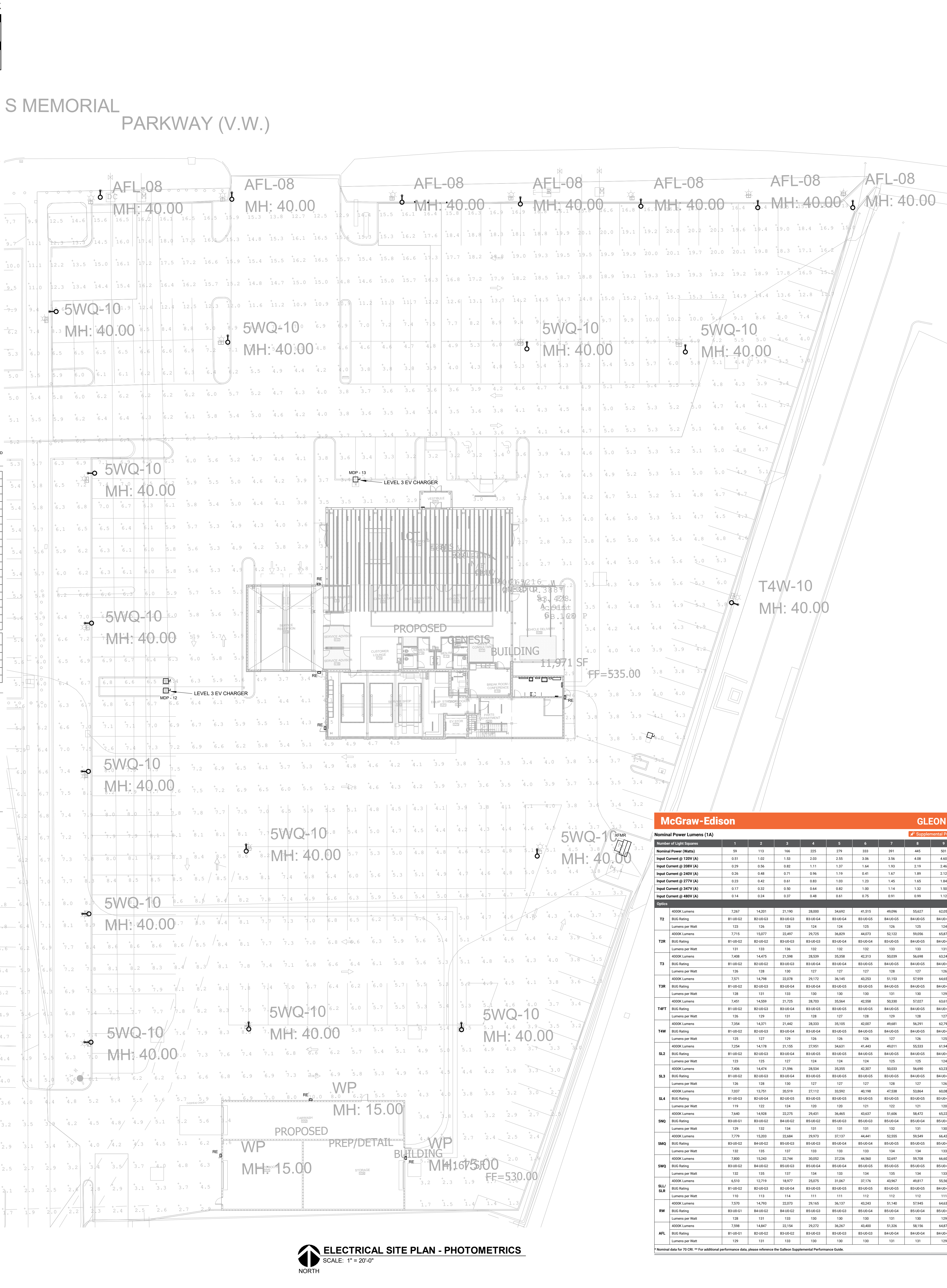


Table with columns: Project, Catalog #, Type, Date. Includes project name 'Genesis of St. Charles' and date '10/26/22'.

McGraw-Edison product information section including product features, product certifications, and quick links.

Interactive Menu section with links to Ordering Information, Mounting Details, Optical Distributions, Product Specifications, Energy and Performance Data, and Control Options.

Quick Links section listing product ranges, efficacy, and options to meet Buy American and domestic preference requirements.

McGraw-Edison GLEON Galleon product information section.

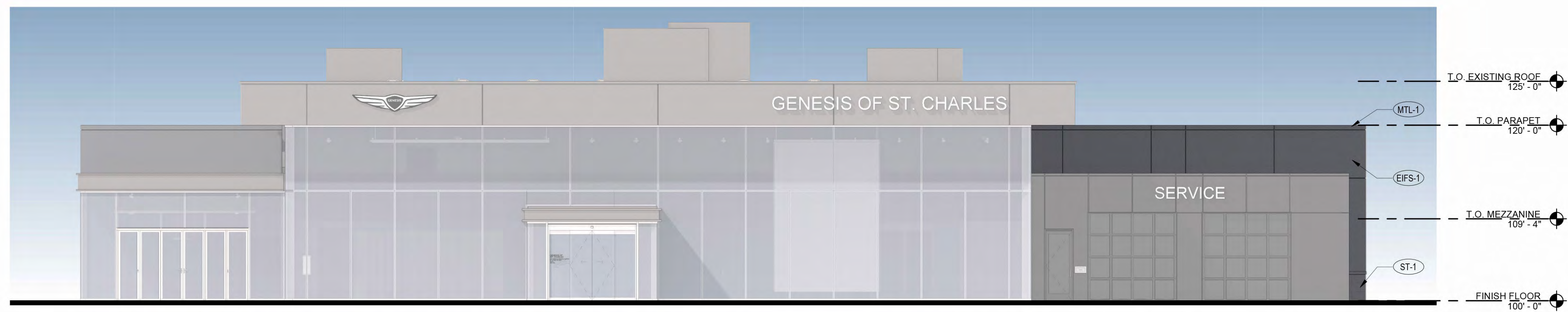
Table for GLEON Galleon product family, listing specifications for various models including beam spread, mounting, and finish.

Options (Add as Suffix) and Controls and System Options (Add as Suffix) for the GLEON Galleon product line.

Table for Nominal Power Lumens (LA) and Supplemental Performance Guide for the GLEON Galleon product line.

Table for LuminaSafe Integrated Network Security Camera Technology Options, listing various camera models and their features.

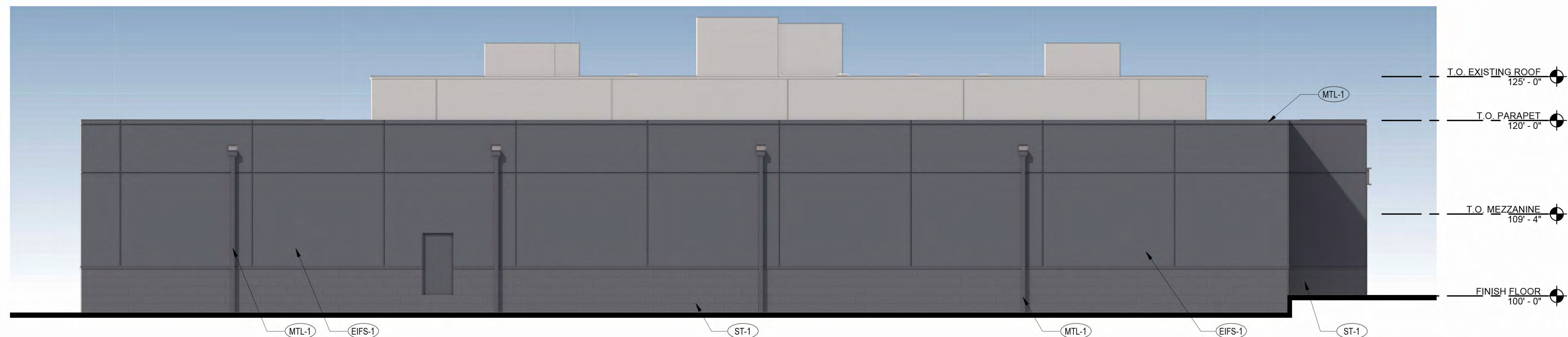
Right side of the page featuring TRJ ARCHITECTS logo, project name 'GENESIS OF ST. CHARLES', address '5701 VETERANS MEMORIAL PARKWAY ST. PETERS, MO 63376', date '10-26-2022', and sheet number 'E0.3A ELECTRICAL SITE PHOTOMETRIC PLAN'.



NORTH ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"



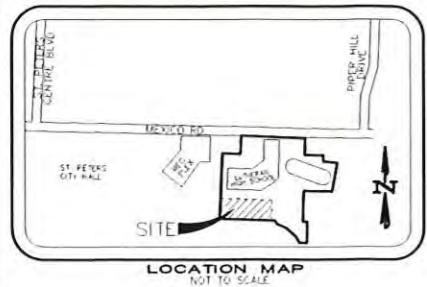
SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

(EIFS-1)	EIFS	COLOR: SW 7076 CYBERSPACE
(MTL-1)	SHEET METAL	FIRESTONE / UNA-CLAD: MATCH SW 7076 CYBERSPACE
(MTL-2)	SCREEN WALL	PRE MANUFACTURED RTU SCREEN TO MATCH SW 7076 CYBERSPACE
(P-1)	PAINT	PAINT: SW 7076 CYBERSPACE
(ST-1)	ADHERED THIN MASONRY	SIZE: 12"x24" PRODUCT: ARRISCRRAFT (ARRIS-TILE RENAISSANCE) COLOR: STAINED TO MATCH - SW 7076 CYBERSPACE



WEST ELEVATION
SCALE: 1/8" = 1'-0"





A SITE PLAN FOR LUTHERAN HIGH SCHOOL MULTIPURPOSE BUILDING

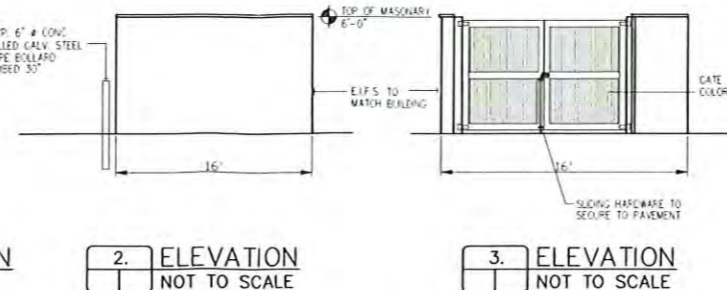
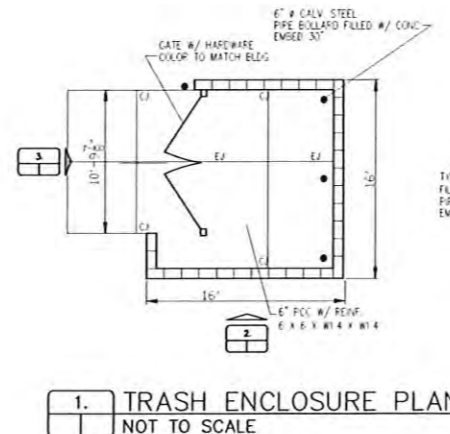
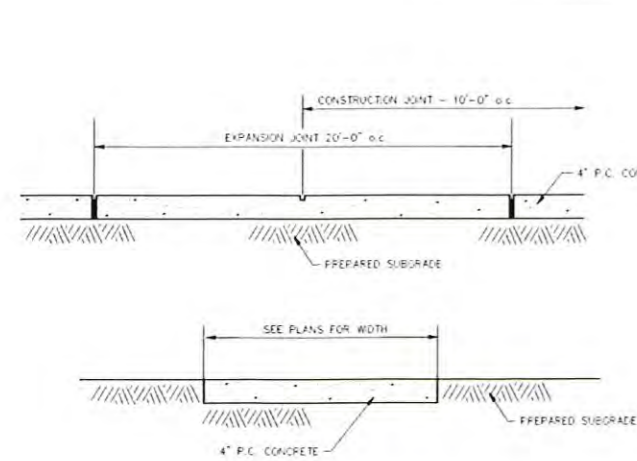
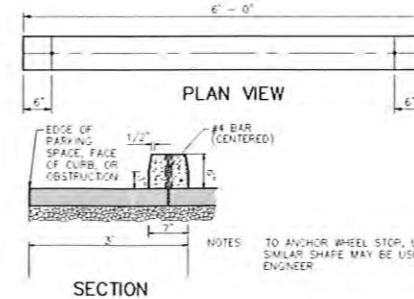
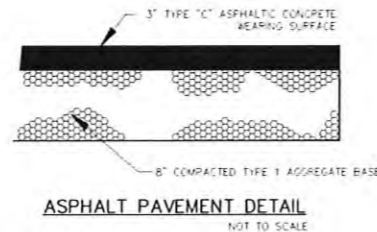
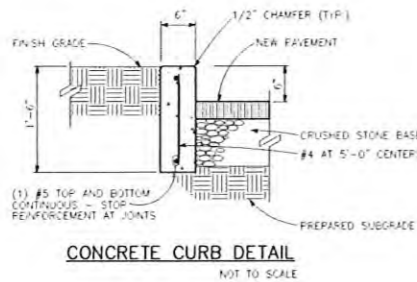
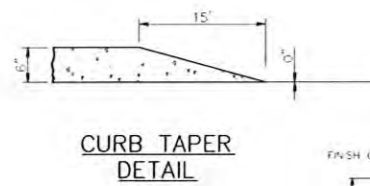
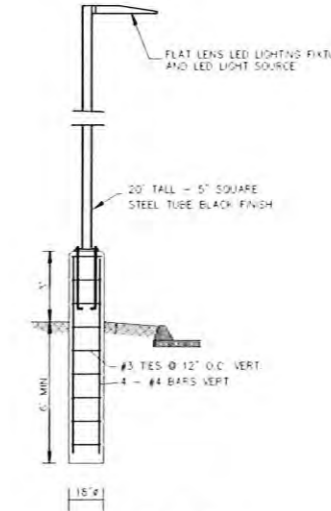
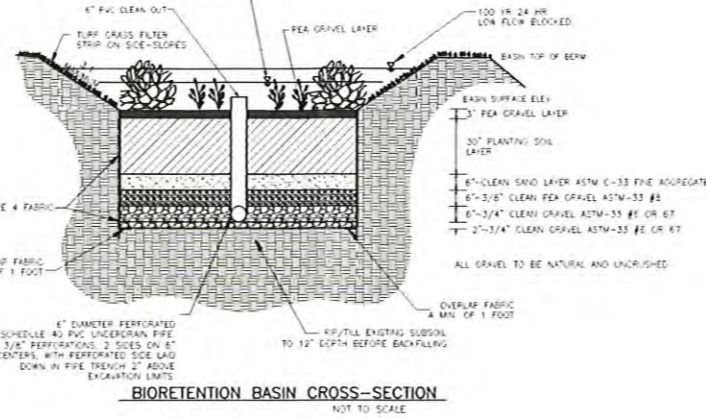
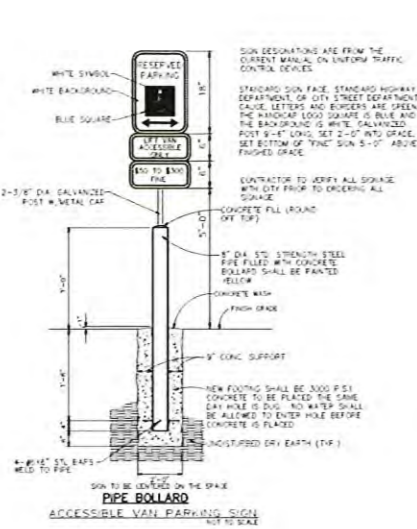
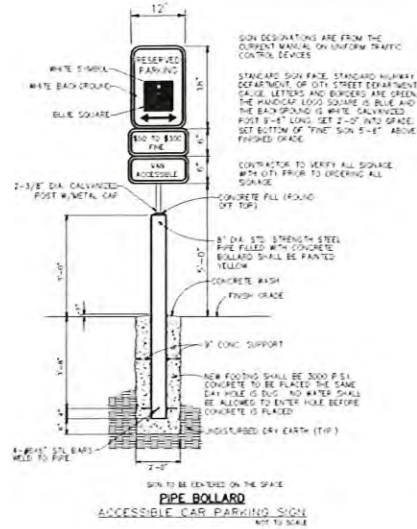
A TRACT OF LAND BEING PART OF "THE BOUNDARY ADJUSTMENT PLAT OF LUTHERAN HIGH SCHOOL AND CAVE SPRINGS WEST PARTNERSHIP II" PLAT BOOK 40 PAGE 48, TOWNSHIP 47 NORTH RANGE 4 EAST CITY OF ST. PETERS, ST. CHARLES COUNTY, MISSOURI

SHEET INDEX:

- C-1 COVER SHEET
- C-2 FLAT PLAN
- C-3 GRADING PLAN
- L-1 LANDSCAPE
- L-2 LANDSCAPE DETAILS

DEVELOPMENT NOTES:

1. AREA OF TRACT: 22.72 ACRES
2. PRESENT ZONING: "SD-1" SPECIAL DISTRICT INSTITUTIONAL
3. PROPOSED USE: MULTIPURPOSE BUILDING
4. BUILDING SETBACKS FOR SD-1:
 - FRONT YARD: 50 FEET
 - SIDE YARD: 20 FEET
 - REAR YARD: 40 FEET
 - PARKING SETBACKS FOR SD-1:
 - FRONT YARD: 15 FEET
 - SIDE YARD: 15 FEET
 - REAR YARD: 20 FEET - ADJACENT TO RESIDENTIAL
5. PARKING REQUIREMENTS: THE MULTI-USE BUILDING IS ACCESSORY TO THE MAIN LUTHERAN HIGH SCHOOL STUDENT AND FACULTY PARKING IS ACCOMMODATED ON THE MAIN CAMPUS. PARKING IS LIMITED TO ONLY DROP-OFF/PICK-UP WITH NO STUDENT PARKING AND TWO ADMINISTRATION/FACULTY PARKING SPACES.
6. PROPERTY OWNER: LUTHERAN HIGH SCHOOL ASSOCIATION OF ST. CHARLES COUNTY INC, 5100 MEXICO ROAD, ST. PETERS, MISSOURI 63376
7. THIS PROPERTY IS SERVED BY THE FOLLOWING UTILITIES:
 - AMEREN ELECTRIC COMPANY: 636-639-8312
 - AT&T: 636-949-4230
 - CHARTER COMMUNICATIONS: 636-441-7737
 - SPRINKLER GAS: 314-522-2297
 - CITY OF ST. PETERS SANITARY: 636-278-2221
 - CITY OF ST. PETERS WATER: 636-278-2221
 - CENTRAL COUNTY FIRE PROTECTION: 636-970-9700
8. ALL SIGNAGE TO BE PERMITTED SEPARATELY.
9. SITE SHALL COMPLY WITH CHAPTER 550 STORMWATER MANAGEMENT (FORMERLY ORDINANCE #753) - WATER QUALITY IS PROVIDED FOR THE PLAN FOR THIS DEVELOPMENT.
10. SITE SHALL COMPLY WITH CHAPTER 530 GRADING REGULATIONS (FORMERLY ORDINANCE 1735 & 1931)
11. SITE SHALL COMPLY WITH CHAPTER 535 OF THE CITY CODE FOR LANDSCAPING.
12. ADDITIONAL PERMITS MAY BE REQUIRED PRIOR TO DEVELOPMENT AND/OR CONSTRUCTION BY THE CITY ENGINEERING DEPARTMENT AND THE CITY BUILDING DEPARTMENT.
13. ALL ROOF TOP UTILITIES TO BE SCREENED WITH AN ARCHITECTURALLY APPROPRIATE MATERIAL TO THE HEIGHT OF THE UNITS ON ALL SIDES.
14. ALL PARKING AND BUILDING MOUNTED LIGHTS TO BE DOWNCAST OR IF DECORATIVE AS APPROVED BY THE PLANNING DEPARTMENT A PHOTOMETRIC LIGHTING PLAN WILL BE SUBMITTED WITH CONSTRUCTION PLANS.
15. SEE SHEETS L-1 AND L-2 FOR LANDSCAPE PLAN AND CALCULATIONS.
16. ALL UTILITIES INCLUDING ELECTRIC SERVICE TO BE UNDERGROUND.
17. A SEPARATE BACKFLOW DEVICE WILL BE NEEDED FOR THE DOMESTIC, FIRE AND IRRIGATION WATER LINES.
18. THESE PLANS ARE PRELIMINARY AND NOT FOR CONSTRUCTION.



F.I.R.M. FLOOD NOTE

TO DETERMINE THE LOCATION OF FLOOD DESIGNATIONS AND BOUNDARIES, WE DETERMINED THE HORIZONTAL LOCATION OF THIS TRACT OF LAND BY SCALING THE FOLLOWING FLOOD INSURANCE RATE MAP (FIRM) CITY OF ST. PETERS, ST. CHARLES COUNTY, MISSOURI AND INCORPORATED AREAS, MAP NUMBER 29183C0202, WITH AN EFFECTIVE DATE OF JANUARY 20, 2016.

COMMUNITY: CITY OF ST. PETERS
NUMBER: 290319
PANEL: 0202
SUFFIX: G

BY EXPRESS REFERENCE TO THIS MAP AND ITS LEGEND, THIS TRACT OF LAND IS INDICATED TO BE WITHIN THE FOLLOWING ZONES:

- ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- ZONE X (HATCHED) - OTHER FLOOD AREAS - AREAS OF 0.2% ANNUAL CHANCE FLOOD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.
- ZONE AE - SPECIAL FLOOD HAZARD AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD (BASE FLOOD ELEVATIONS DETERMINED).
- FLOODWAY AREAS IN ZONE AE.

THE EVALUATION PROVIDED IN THIS NOTE IS RESTRICTED TO SIMPLY INDICATING THE APPARENT HORIZONTAL LOCATION OF THE PROPERTY WITH RESPECT TO THE FEATURES DISPLAYED ON THE MAP. NO FIELD STUDY OF THE DRAINAGE CHARACTERISTICS TO WHICH THIS PROPERTY MAY BE SUBJECT TO HAS BEEN CONDUCTED AND NO REPRESENTATION CONCERNING THE INSURABILITY OF THIS PROPERTY OR THE POTENTIAL SUSCEPTIBILITY OF THIS PROPERTY TO FLOODING HAS BEEN MADE. DAN ENGINEERING MAKES NO REPRESENTATION CONCERNING THE ACCURACY OF THE ABOVE REFERENCED FIRM MAP WHICH INCLUDES A NOTE THAT "THIS MAP IS FOR USE IN ADMINISTERING THE NATIONAL FLOOD INSURANCE PROGRAM. IT DOES NOT NECESSARILY IDENTIFY ALL AREA SUBJECT TO FLOODING, PARTICULARLY FROM LOCAL DRAINAGE SOURCES OF SMALL SIZE."

THIS FLOOD ZONE DETERMINATION AND THE FLOOD ZONE LIMITS SHOWN HEREON, IF ANY, WERE MADE USING FEMA INFORMATION WHICH WAS AVAILABLE ON THE DATE THIS SURVEY WAS SIGNED AND SEALED.

BENCHMARKS:

REFERENCE BENCHMARK: THE ELEVATIONS SHOWN ON THIS DRAWING ARE REFERENCED FROM "THE MISSOURI HIGHWAYS AND TRANSPORTATION COMMISSION GLOBAL NAVIGATION SATELLITE TIME NETWORK FOR CONTINUOUS OPERATING REFERENCE STATIONS", COMMONLY KNOWN AS "MODOT VRS". MODOT VRS UTILIZES A NETWORK OF REFERENCE SENSOR STATIONS THROUGHOUT THE STATE OF MISSOURI AND IS ADMINISTERED BY THE MISSOURI HIGHWAYS AND TRANSPORTATION COMMISSION (MHTC). MODOT VRS MOUNT POINTS PROVIDE CORRECTIONS CONSISTENT WITH NGS'S NA83(2011) EPOCH 2010.00 ADJUSTMENT. MODOT VRS UTILIZES THE NAD 83 AS A VERTICAL DATUM.

SITE BENCHMARK (NAVD 88): "X" CUT IN SQUARE ON CONCRETE PAD LOCATED NEAR SOUTHEAST CORNER OF SUBJECT PROPERTY (ELEVATION=468.23) AND IS LOCATED AS SHOWN HEREON.

UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING OR CONSTRUCTION OF THE IMPROVEMENTS.

A SITE PLAN FOR
LUTHERAN HIGH SCHOOL
5100 MEXICO ROAD
ST. PETERS, ST. CHARLES COUNTY, MO., 63376

PREPARED FOR:
LUTHERAN HIGH SCHOOL DR. DOUG HUMMANN
ST. PETERS, MISSOURI 63376
636-928-0100

**ENGINEERING
PLANNING
SURVEYING**

221 Polat Vek Blvd.
St. Charles, MO 63301
636-928-5552
FAX 928-1718

Box Engineering Company, Inc.
Missouri State Certificate of Authority
Engineering #000555
Missouri State Certificate of Authority
Surveying #20144

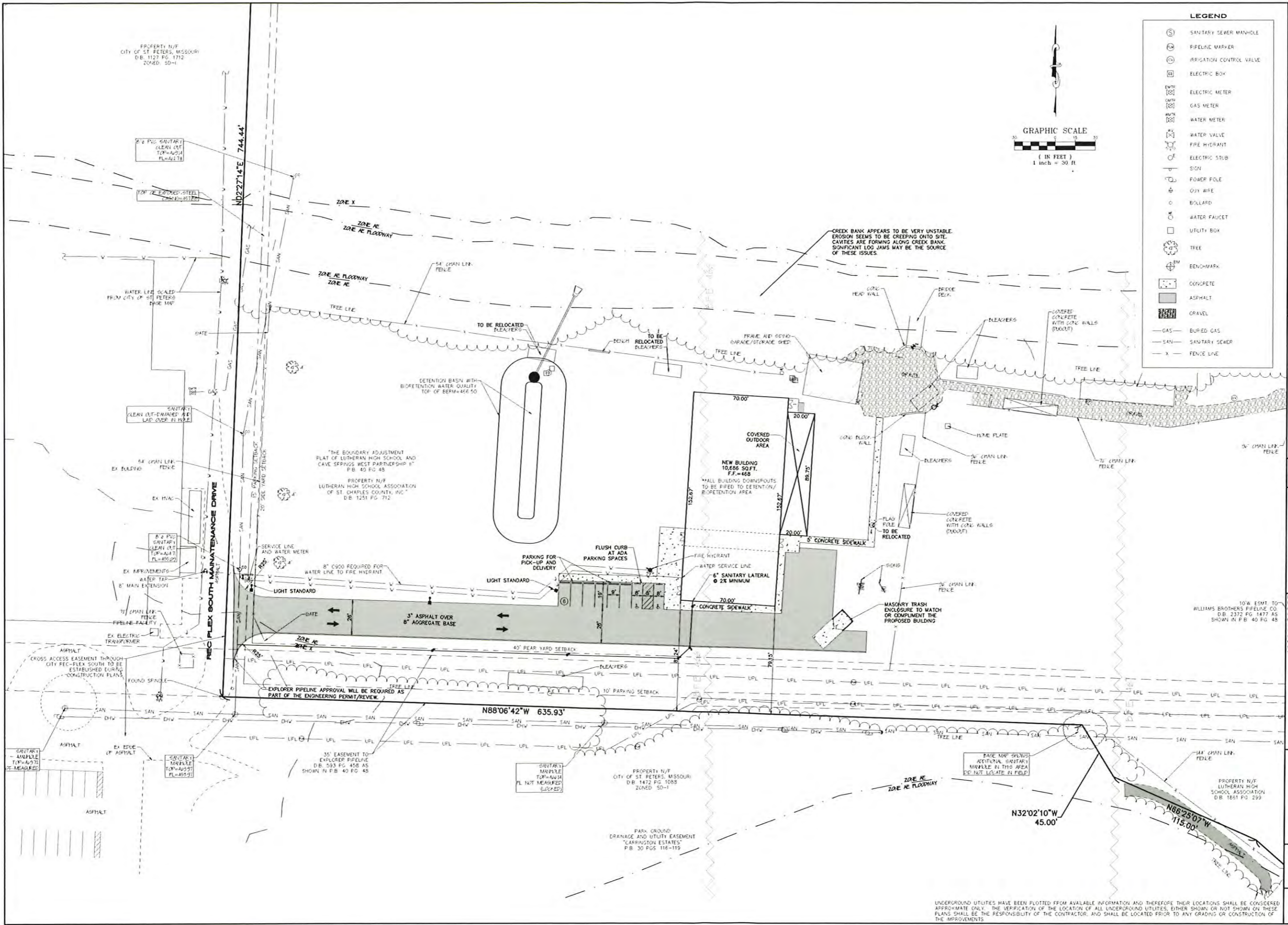
REVISIONS		
NO.	DATE	DESCRIPTION

DISCLAIMER OF RESPONSIBILITY
I hereby disclaim any responsibility for or other drawings, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural or engineering project or survey other than those authorized by my seal.

DAN BAX
Civil Engineer
License # FE-2013019016

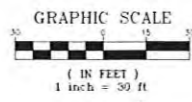
1-29-26
DATE
97-9652C
PROJECT NUMBER
9652Cpre.dwg
FILE NAME
MWN
DRAWN
MWN TEB
DESIGNED CHECKED

COVER SHEET
C-1



LEGEND

- ⊙ SANITARY SEWER MANHOLE
- ⊙ PIPELINE MARKER
- ⊙ IRRIGATION CONTROL VALVE
- ⊙ ELECTRIC BOY
- ⊙ ELECTRIC METER
- ⊙ GAS METER
- ⊙ WATER METER
- ⊙ WATER VALVE
- ⊙ FIRE HYDRANT
- ⊙ ELECTRIC STUB
- ⊙ SIGN
- ⊙ POWER POLE
- ⊙ CUY WIRE
- ⊙ BOLLARD
- ⊙ WATER FAUCET
- ⊙ UTILITY BOX
- ⊙ TREE
- ⊙ BENCHMARK
- ▭ CONCRETE
- ▭ ASPHALT
- ▭ GRAVEL
- GAS — BURIED GAS
- SAN — SANITARY SEWER
- - - FENCE LINE



A SITE PLAN FOR
LUTHERAN HIGH SCHOOL
 5100 MEXICO ROAD
 ST. PETERS, ST. CHARLES COUNTY, MO., 63376

W&B
ENGINEERING
PLANNING
SURVEYING
 221 Point West Blvd.
 St. Charles, MO 63301
 636-928-5552
 FAX 928-1718

Box Engineering Company, Inc.
 Missouri State Certificate of Authority
 Engineering #000655
 Missouri State Certificate of Authority
 Surveying #000144

REVISIONS

NO.	DATE	DESCRIPTION
1-25-26		CITY & FIRE COMMENTS

DISCLAIMER OF RESPONSIBILITY
 I hereby disclaim any responsibility for all other drawings, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural or engineering project or survey other than those authenticated by my seal.

10' W. ESM. TO WILLIAMS BROTHERS PIPELINE CO. D.B. 2372 PG. 1477 AS SHOWN IN P.B. 40 PG. 48

DANIEL B. TEB
 LICENSED PROFESSIONAL ENGINEER
 CIVIL ENGINEER
 License # FE-2013010016

1-29-26
 DATE
 97-9652C
 PROJECT NUMBER
 9652Ccore.dwg
 FILE NAME
 MWN
 DRAWN
 MWN TEB
 DESIGNED CHECKED

FLAT PLAN
C-2

UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING OR CONSTRUCTION OF THE IMPROVEMENTS.

PROPERTY N/E
CITY OF ST. PETERS, MISSOURI
D.B. 1127 PG. 1212
ZONED: SM-1

CALCULATED 15YR 20 MIN. RUNOFF NUMBERS

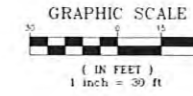
NEW BUILDING - 0.29 ACRES @ 3.54 = 1.03 CFS
NEW PAVEMENT/SIDEWALK - 0.42 ACRES @ 3.54 = 1.49 CFS
TOTAL NEW RUNOFF = 2.52 CFS

THE SAME AREA (0.71 ACRES) ABOVE IS CURRENTLY GRASS AND PART OF THE LUTHERAN CAMPUS TOTALING OVER 22.72 ACRES

EXISTING RUNOFF OF SAME AREA - 0.71 ACRES @ 1.70 = 1.21 CFS

EXISTING RUNOFF = 1.21 CFS
PROPOSED RUNOFF = 2.52 CFS
DIFFERENTIAL RUNOFF = 1.31 CFS INCREASE

DETENTION AND WATER QUALITY PROPOSED AND SHOWN ON THE PLAN



LEGEND	
	SANITARY SEWER MANHOLE
	PIPELINE MARKER
	IRRIGATION CONTROL VALVE
	ELECTRIC BOX
	ELECTRIC METER
	GAS METER
	WATER METER
	WATER VALVE
	FIRE HYDRANT
	ELECTRIC STUB
	SIGN
	POWER POLE
	GUY WIRE
	BOLLARD
	WATER FAUCET
	UTILITY BOX
	TREE
	BENCHMARK
	CONCRETE
	ASPHALT
	GRAVEL
	BURIED GAS
	SANITARY SEWER
	FENCE LINE

A SITE PLAN FOR
LUTHERAN HIGH SCHOOL
5100 MEXICO ROAD
ST. PETERS, ST. CHARLES COUNTY, MO., 63376



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Missouri State Certificate of Authority
Engineering #000655
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Surveying #000444

REVISIONS

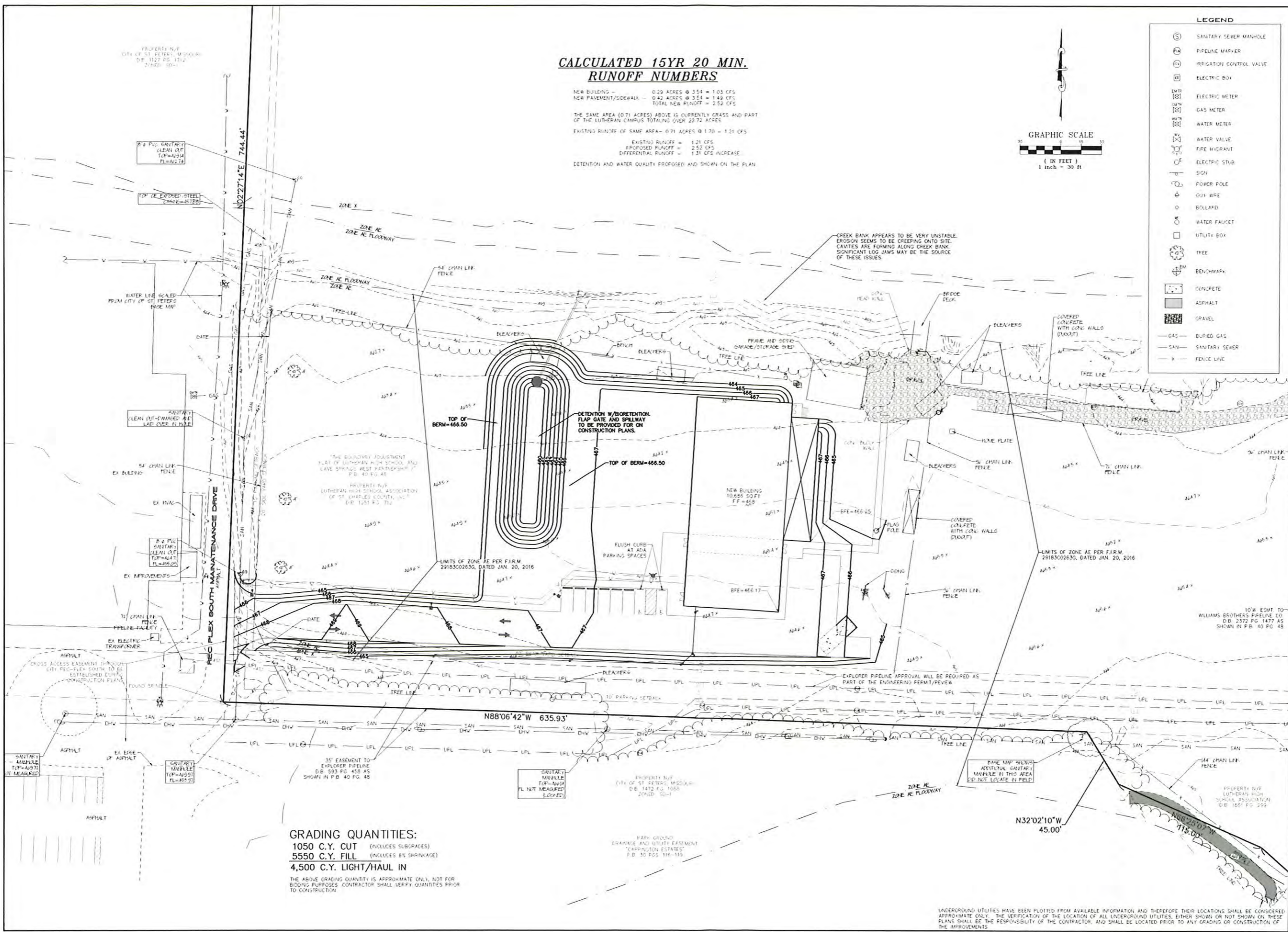
NO.	DATE	DESCRIPTION
1-25-26		DATE & FIRE COMMENTS

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1-29-26
DATE
97-9652C
PROJECT NUMBER
9652Cpre.dwg
FILE NAME
MWN
DRAWN
MWN TEB
DESIGNED CHECKED

GRADING PLAN
C-3



UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING OR CONSTRUCTION OF THE IMPROVEMENTS.



STANDING SEAM METAL ROOF

METAL PANEL

BRICK VENEER

NORTHEAST ELEVATION



LUTHERAN HIGH SCHOOL ST. CHARLES
PROPOSED MULTIPURPOSE BUILDING
FEB 18, 2026

MISSION
ARCHITECTS



STANDING SEAM
METAL ROOF

METAL PANEL

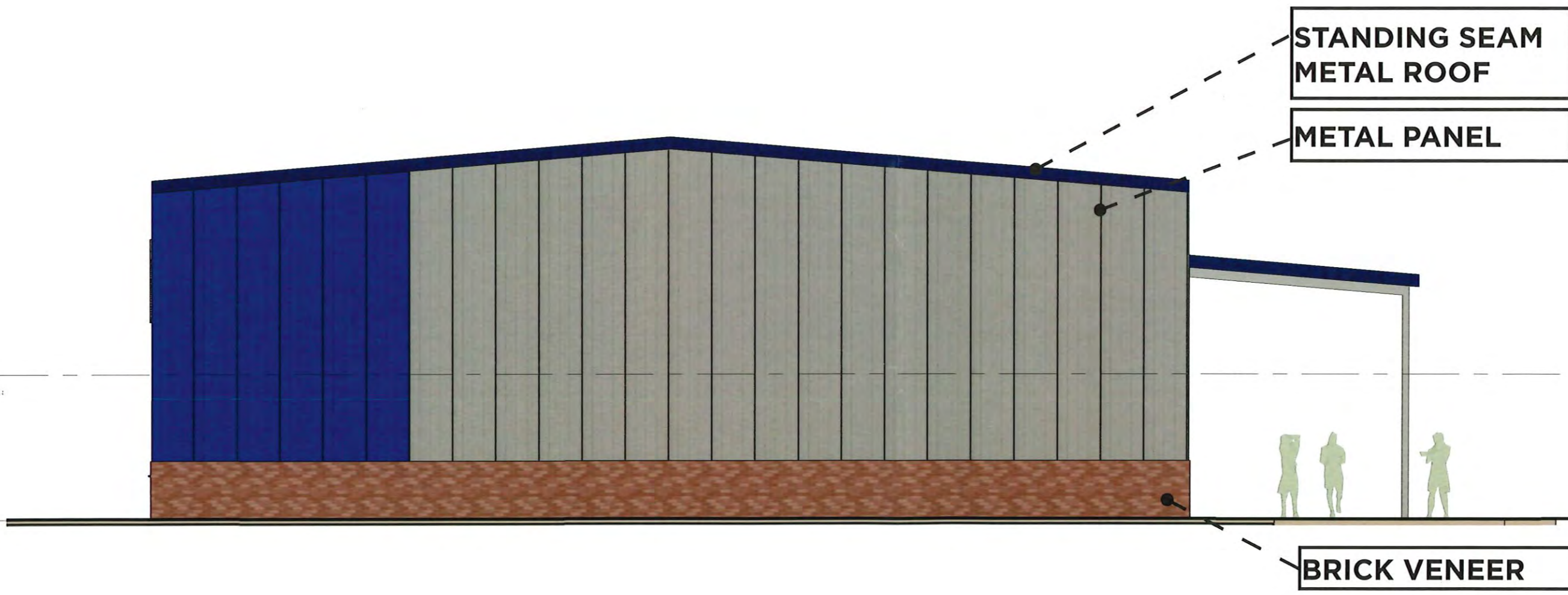
BRICK VENEER

WEST ELEVATION



LUTHERAN HIGH SCHOOL ST. CHARLES
PROPOSED MULTIPURPOSE BUILDING
FEB 18, 2026

MISSION
ARCHITECTS



SOUTH ELEVATION

LUTHERAN HIGH SCHOOL ST. CHARLES
PROPOSED MULTIPURPOSE BUILDING
 FEB 18, 2026





INTERIOR PRACTICE GYM

LUTHERAN HIGH SCHOOL ST. CHARLES
PROPOSED MULTIPURPOSE BUILDING
FEB 18, 2026





ROBOTICS PRACTICE FIELD

LUTHERAN HIGH SCHOOL ST. CHARLES
PROPOSED MULTIPURPOSE BUILDING
 FEB 18, 2026

MISSION
 ARCHITECTS



SPECIAL USE PERMIT

Ultimate k9 Training
(6180 Mexico Road)

The Special Use Permit requested pursuant to Special Use Permit Application No. 26-01 (the “Application”) shall be, and hereby is GRANTED subject to the following terms and conditions:

- A. The St. Peters Planning and Zoning Commission considered:
1. The Application submitted by Ultimate k9 Training on January 29, 2026.
 2. Testimony provided at a public hearing conducted by it on the Application;
 3. The Site Plan, a copy of which is attached hereto as **Exhibit B** and is incorporated by reference herein;
 4. The St. Peters City Code;
 5. The City’s Comprehensive Plan;
 6. The Zoning Map of the City; and
 7. The Report of the Director of Planning, Community and Economic Development with respect to the Application, a copy of which is attached hereto as **Exhibit D** and incorporated by reference herein.
- B. That Ultimate k9 Training c/o Thaer Abdulkarim, hereinafter referred to as “Applicant”, is a lessee of a portion of the Property. 6180 Mexico Road LLC, hereinafter referred to as “Owner”, is the owner of fee simple title to the Property.
- C. That Applicant has submitted to the City a Site Plan (**Exhibit B**) with respect to the use of the Property (hereinafter the “Property”), which complies with the provisions of the Zoning and Subdivision Regulations, Title IV of the St. Peters City Code, Section 405.780 D.2.i.
- D. The design of the building shall be as substantially shown on **Exhibit C**. Any minor modifications to the building shall be as approved by the Planning Department. Any substantive changes to the approved building, including material changes, shall first be approved by the Planning and Zoning Commission.
- E. That the Applicant/Owner will use the Property more particularly depicted on the Site Plan (the “Premises”) for kenneling in addition to all permitted uses in the C-2 Community Commercial District.
- F. The Property is currently zoned C-2 Community Commercial District.
- G. Section 405.200 D. of the St. Peters City Code provides that a Special Use within the C-2 Community Commercial District includes “Kennels, including interior and exterior areas, as defined by this Chapter.”

TERMS AND CONDITIONS

The approval of this Special Use Permit and the related uses of the Premises as shown on the Site Plan are subject to the following terms and conditions:

A. Uses:

This Special Use Permit shall authorize the use of the Premises for a kennel establishment. Any modifications to the exterior of the Property shall be subject to approval by the Planning and Zoning Commission, with minor modifications to be approved by the City's Planning Department.

B. General Requirements:

1. The Property shall be operated in compliance with all requirements of the St. Peters City Code.
2. All animals shall be housed inside a permanent climate-controlled (heated and air-conditioned) building on the Property. All kenneled dogs must be kept within the southernmost building (house) on the property.
3. A maximum of ten (10) dogs may be kenneled on the property at any one time.
4. A six (6) foot tall, sight-proof vinyl fence shall be erected to screen all exterior animal runs, exercise, and training areas.
5. No animal shall be kept on the Property that by frequent and habitual barking, yelping, howling or whining causes fear or annoyance to persons living or working in the immediate area; or to persons passing upon the streets or sidewalks during daylight or night hours.
6. The Applicant, Owner, and their successors in interest, shall be in compliance with all local, State, and Federal laws and regulations related a kennel operation at the Premises.
7. The configuration of the site shall be as substantially shown on the Site Plan shown on **Exhibit B**. Any minor modifications to the site design shall be as approved by the Planning Department. Any substantive changes to the approved site configuration shall first be approved by the Planning and Zoning Commission.
8. Modifications to the existing building shall be as substantially shown on **Exhibit C**, including:
 - a. Front façade improvements including a new commercial front door and an awning or entrance feature to be completed prior to September 4, 2027.
 - b. Landscape clean up and enhancement to be completed prior to March 4, 2027.
 - c. Parking lot repair/overlay to be completed prior to June 4, 2027.

Any additional minor modifications to the building shall be as approved by the Planning Department. Any substantive changes to the approved building shall first be approved by the Planning and Zoning Commission.

- C. If any provision of the permit shall to any extent be invalid or unenforceable, the remainder of the permit shall not be affected thereby, and each such provision of the permit shall be valid and

enforceable to the fullest extent permitted by law.

- D. The Special Use Permit shall only be valid for a period of one (1) year from the date of its approval by the Planning Commission, unless within such period:
 - 1. a building permit is obtained and the erection or alteration of the real property and related structures is commenced, or the herein permitted use of the Premises is lawfully commenced; or
 - 2. the Board of Aldermen, upon written request of the Owner, grants an extension not exceeding one hundred and eighty (180) days, without notice of hearing.
- E. The terms and conditions herein set forth shall be deemed to be covenants running with the Premises.
- F. The Owner shall comply with all other requirements of the City's Zoning and Subdivision Regulations, including but not limited to parking and signage requirements, and any other city, state, or federal regulations that are applicable unless otherwise stated herein.

ST. PETERS PLANNING AND ZONING COMMISSION

By _____
John K. Luehrs, Chairman

Attest:

Secretary

EXHIBIT A
Legal Description

A tract of land being part of Lot 4-A of Robert A. Spencer Partition, U.S. Survey No. 762 Township 47 North, Range 4 East and being more particularly described as follows Commencing at an old iron stake in the center of a County Road known as the Mexico Road, said iron stake being the Northwest corner of a tract of land known as the Spence School tract, as shown on plat of survey made by Hy Gerling, Surveyor, and recorded in County Surveyor's Record Book No. 5, Page 20, Office of the Recorder of Deeds for St Charles County, Missouri; thence South 66° 38' West along the center of said County Road 231 feet to a point; thence North 2° 38' East along the center line of a 20 foot private road 289.7 feet; thence South 87° 22' East, 208.7 feet to a stake; thence South 2° 38' West, 181 feet, more or less, to a point in the center of said Mexico Road; thence South 66° 38' West 1 ½ feet, more or less, to the point of beginning.

EXCEPTING THEREFROM that part of the above described tract conveyed to James J. Ohmes and Michele Ohmes, his wife, by deed recorded in Book 425, Page 653 of the St Charles County records.

Subject to conditions, restrictions and easements of record, if any.

EXHIBIT B
Site Plan

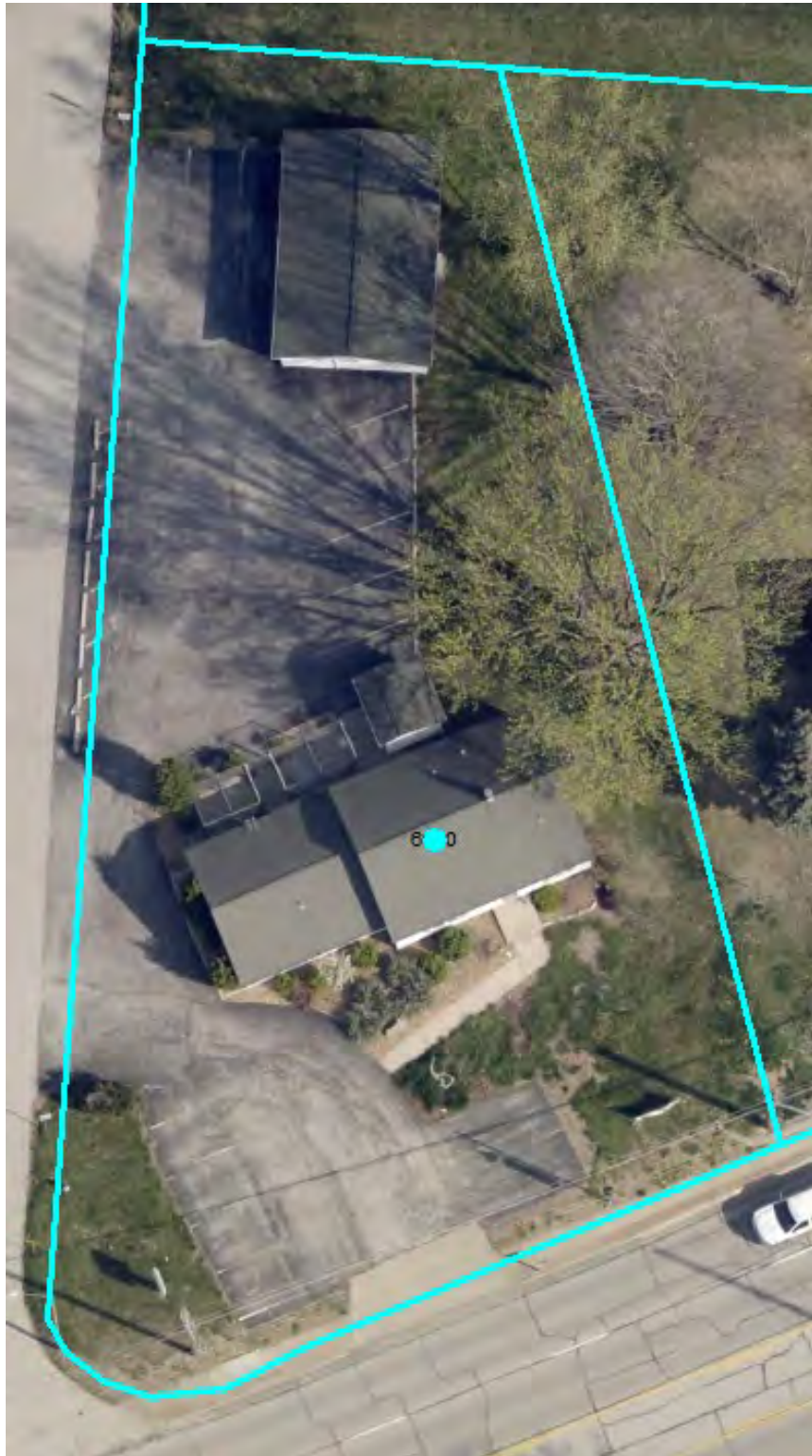


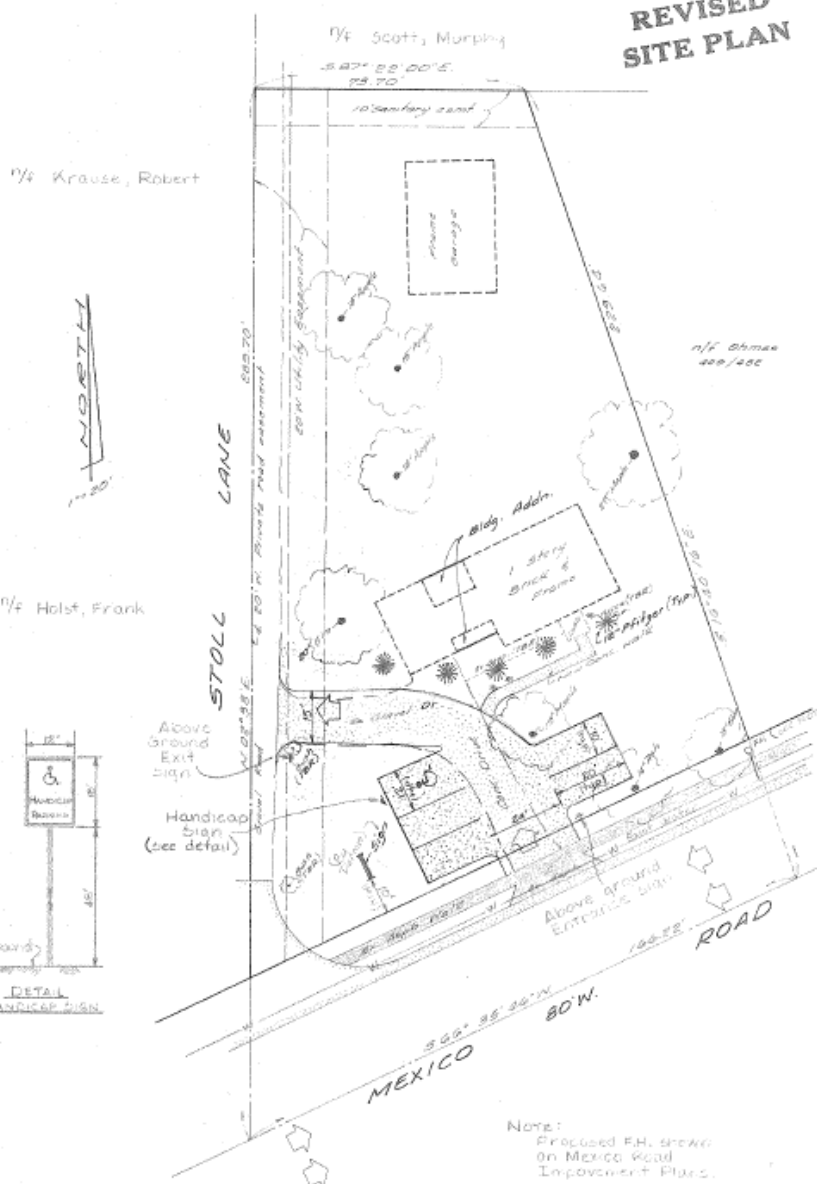
EXHIBIT B
Site Plan - continued

MEXICO ROAD ANIMAL CLINIC

IN PART OF U.S. SURVEY 768, T.47N., R.4E., ST. PETERS, MO.

Drawn: B.V.
Checked: M. Conner

**REVISED
SITE PLAN**

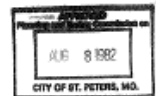


- NOTES:**
- TOTAL AREA - 25,274,107 SQ. FT. (0.5845 AC)
 - TOTAL PARKING - 5 SPACES
 - PRESENT ZONING - C-2
 - SEWER - CITY OF ST. PETERS
 - WATER - CITY OF ST. PETERS
 - ELECTRICAL - MISSOURI EDISON
 - GAS - ST. CHARLES GAS
 - TELEPHONE - SOUTHWESTERN BELL

LANDSCAPING SCHEDULE

TYPE	NO.	SIZE	SYMBOL
FRITZER	5	12" φ	

**REVISED
SITE PLAN**



Prepared for:
Dr. M. Buchheit
420 E. Mexico Rd.
St. Peters, MO. 63376
Phone: 278-6999

Note:
Proposed FH. shown
on Mexico Road
Improvement Plans.

NOTE:
Underground utilities and structures have been plotted from available information and therefore, their location must be considered approximate only. It is the responsibility of the individual contractor to verify the utility conditions before actual construction.

	DATE: 7/1/82 SHEET NO.: 82-064
	PROJECT: SITE PLAN

EXHIBIT C
Building Elevations



EXHIBIT D

Report of the Director of Planning, Community and Economic Development

Staff Evaluation:

The proposed use will be located within an existing residence that was previously a veterinarian's office for many years. The applicant is planning to use the site for dog training, which is a permitted use in the C-2 District. However, they also plan to kennel dogs as an accessory to the training business; this requires a special use permit.

The kennel will be within the existing home that previously functioned as the vet office. The vet did some kenneling to allow for the care of sick animals, so the lower level is set up to allow this use. Staff notes the building is properly heated and cooled and has been reviewed by the City's Building and Animal Control departments to ensure compliance with City Code. Also, there is an inside drain to facilitate cleaning and waste removal which is also required. Staff notes the City's Consulting Architect has reviewed the building and suggested modifications to the exterior to create a more commercial appearance. These include the addition of an entrance feature or awning and a new, commercial door to enhance the front façade. In addition, landscape clean-up and enhancement and parking lot repairs are planned to improve the overall appearance of the site. Staff notes these are referenced in the special use permit conditions with stated completion dates.

Staff notes the dog training, which is a permitted use on site, is planned for the rear garage building. The applicant indicated they will be training 10 – 20 dogs but only one dog at a time. Therefore, there is ample parking to accommodate the one – two vehicles that may be dropping off or picking up dogs at any time.

Staff notes that an outside dog run is not planned at this time. If outside, dogs will be leashed and with the operator or a staff member. If this changes in the future, any outside fenced area will have to be approved on an amended site plan including location and fencing details.

The surrounding land uses include commercially zoned property to the east which include a residence and a bank; further to the east, across Spencer Road, are McDonalds and Menards. To the west is also commercial zoned property developed with a small strip center and small offices. To the north is a single-family subdivision along Stoll Lane in the R-1 District. To the south, across Mexico Road, is a multiple family development, Vanderbilt Apartments, in the R-3 Residential District. Overall, the site is conducive to the kennel as the kennel activity will be in the southern most building (house) which fronts to Mexico Rd. The area closest to the residences to the north will be used for training which will be primarily one – on – one with a trainer.

The site area is served by Mexico Road which been designed to carry heavy traffic levels. The site entrances are to Mexico Road and Stoll Lane, both of which are designed to serve commercial users.

Staff is of the opinion a kennel can operate without detriment to the area. The business will be located along a major roadway and the site has easy access. The site was used for a veterinarian office for years without issue. Overall, the proposed use will provide a valued service to the community and occupy a vacant site.

Per the City of St. Peters Zoning Code, the review of any proposed special use must include consideration of certain standards; these are addressed below:

- a. *Conformity with the City Code:* The proposed facility, with the conditions contained in the special use permit, will be in keeping with the requirements of the City Code. No variances from the code requirement are proposed.
- b. *Matters pertaining to general welfare:* The facility will be located within an existing building (home) and outbuildings on an ample sized lot which can be easily accessed by clients of the operator. There will be no detriment to the general area.
- c. *Character of the surrounding area:* The subject site includes a residence which fronts a major roadway near a commercial node. The proposed use would be compatible with the area given the placement of the kennel animals closest to Mexico Road.
- d. *Compatibility with surrounding uses and neighborhood:* The area zoning and development is a mix of commercial, multiple family and single family uses. The proposed facility will be in an existing residence that is away from the single family residences to the north. Overall, the use will be consistent with the commercial uses along this area of Mexico Road.
- e. *Impact on value of neighboring property.* The kennel, with the conditions contained in the special use permit, will be compatible with adjacent properties. The kennel will be in the building (house) furthest from the single-family subdivision to the north. Staff does not anticipate any negative impact on the value of surrounding properties.
- f. *The Comprehensive Plan:* The City's Comprehensive Plan, as amended in 2009, indicates the site area is planned for commercial and mixed uses. The proposed use of a kennel would be consistent with the plan.
- g. *Parking:* The site has been used for a similar use – a veterinarian's office – for many years such that the parking meets or exceeds Code requirements.
- h. *Traffic conditions in the surrounding area:* The site is served off of Mexico Road which has been adequately improved to serve the land uses in the area and is designed to accommodate commercial traffic levels.
- i. *Public Utility facilities:* The existing site is currently served with all utilities; utility services are readily available in this area.
- j. *Conditions:* Specific conditions have been recommended to ensure the use is developed in a manner compatible to the area.
- k. *Time limits:* A time limit is not deemed necessary for the proposed development.

Staff Recommendation:

Based on this analysis, staff recommends approval of Petition SU 26-01 subject to the draft Special Use permit.

From: Cara Lottes <caralottes@yahoo.com>
Sent: Wednesday, February 25, 2026 11:33 AM
To: Melissa Vollmer
Subject: Reply to petition SU 26-01 "K9 training"



Dear Ms. Vollmer,

I would like to **object to** the request for a special permit for dog kenneling on this parcel. We own the home at 10 Carriage Way East and received a letter allowing us to comment.

We do not wish to approve special use permitting for dogs on that land, knowing there will be an increase in noise and traffic if this use is allowed.

Thank you,

Cara Lottes

President, A & A Properties
Owner 10 Carriage Way East, 63376.

From: Hung Nguyen <hungthunt@gmail.com>
Sent: Saturday, February 21, 2026 9:13 AM
To: Melissa Vollmer
Subject: Formal Objection to Petition SU 26-01 – Special Use Permit for Dog Kenneling at 6180 Mexico Rd



Dear Members of the Planning and Zoning Commission,

My name is Hung Nguyen, and I am the homeowner at 6170 Mexico Road in St. Peters, Missouri. I am writing to formally object to Petition SU 26-01, the request for a Special Use Permit for dog kenneling at 6180 Mexico Road.

My property is immediately adjacent to the subject site, and I will be directly and significantly affected by this proposed use.

Although the property was previously used as an animal clinic, dog kenneling and training is a different type of operation that may involve multiple dogs staying for extended periods. This creates a strong potential for frequent and prolonged barking, including early morning and evening hours. Because of the extremely close proximity to my home, this noise would negatively impact my peace, quiet, and overall quality of life.

This proposed use would interfere with my reasonable enjoyment of my property, which I believe should be protected.

I am also concerned about increased traffic, parking, activity, and the potential negative impact on my property value.

In addition, I respectfully ask the Commission to consider the following questions:

- What specific protections will be in place to ensure that barking noise will not disturb my home?
- Are there enforceable limits on the number of dogs and the hours of operation?

- How will the City protect the reasonable enjoyment of my property as the immediately adjacent homeowner?

As the immediately adjacent homeowner, I respectfully request that the Planning and Zoning Commission deny Petition SU 26-01 for the Special Use Permit for dog kenneling at this location.

Thank you for your time and consideration.

Sincerely,

Hung Nguyen

6170 Mexico Road

St. Peters, MO 63376

(changes = bold italics & strikethroughs)

Section 405.775 Amendments

4. Procedure.

a. Upon receipt of a completed petition for change to the boundaries of a zoning district and the accompanying fee, the Administrative Officer shall submit the petition to the Planning and Zoning Commission who shall hold a public hearing on the proposed change to the boundaries of the zoning district. All such petitions shall be set down for a hearing before the Planning and Zoning Commission not later than sixty (60) days from the date of receipt of a completed petition. Any such hearing may be continued at the request of the applicant upon a showing of good cause or at the discretion of the Commission or Administrative Officer.

b. Additional Notice Requirements. In addition the notice requirements of Subsection (D) of this Section, in the case of a proposed change to the boundaries of any zoning district initiated by a petition filed pursuant to this Section, the City shall:

(1) Make a good faith effort to send three (3) letters, via regular mail, to the landowners of record of all real property located, in whole or in part, within one thousand (1,000) feet of the boundaries of the real property to be affected by the proposed change. The first of such letters shall be sent at least fifteen (15) days prior to the date of the public hearing before the Planning and Zoning Commission. Said letter shall include the notice of the public hearing to be held before the Planning and Zoning Commission stating the date, time and place and the reason for such public hearing. Subsequent letters shall be sent on separate days, each being sent no later than the date of the public hearing before the Planning and Zoning Commission;

(2) Post a sign *with a connection to the City's web site which will indicate* the date and time of the public hearing before the Planning and Zoning Commission on the real property to be affected by the proposed change. The sign shall be posted at least fifteen (15) days prior to the date of the public hearing before the Planning and Zoning Commission; and

~~(3) Post signs near the entrances to all subdivisions adjacent to the real property to be affected by the proposed change to the boundaries of the zoning district.~~

c. After the close of the public hearing, the Planning and Zoning Commission shall make written recommendations to the Board of Aldermen.

D. Public Hearings. No amendment, supplement, change or modification to the regulations, restrictions and boundaries of the zoning districts which are herein or hereinafter enacted shall become effective until after a public hearing is held in relation thereto before the Planning and Zoning Commission, at which parties in interest and citizens shall have an opportunity to be heard. At least fifteen (15) days' notice of the time and place of any hearing required pursuant to this Section shall be published in a newspaper of general circulation in the City.

Sample sign – Creve Coeur, MO



Other sample signs



Sample web site – Creve Coeur, MO

CURRENT PLANNING AND BOARD OF ADJUSTMENT PROJECTS

The below projects have been submitted for review by the Planning and Zoning Commission or Board of Adjustment. [Approved projects in progress can be viewed here.](#)

MONDAY, MARCH 16, 2026 PLANNING AND ZONING COMMISSION MEETING

- [Public Hearing. 25-034 and 25-035: Applications for a Rezoning From “GC” General Commercial District to the Graeser Station “PMD” Planned Mixed-Use Development District With a Site Concept Plan, SITE Development Plan and Boundary Adjustment for 11004, 11026, 11032 and 11056 Olive Boulevard and 825 and 827 Graeser Road](#) -Continued from January 20th meeting
 - [Applications](#)
 - [Applicant's Materials](#)-Resubmitted February 6, 2026
 - [Parking Study](#)-Resubmitted February 6, 2026
 - [Traffic Study](#)
 - [Traffic Study Supporting Tables](#)

MONDAY, MARCH 2, 2026 PLANNING AND ZONING COMMISSION MEETING

- [Public Hearing. Application #26-003: Review and Adoption of an Amendment to the Comprehensive Plan](#)
 - [Bayer East Campus Comprehensive Plan Update Webpage](#)
- [Application #26-002: An Application for a Site Deveopment Plan for Residential Subdivision Entry Signs for the Chaminade Park Subdivision Located at Both Entrances on S. Spoede Road](#) Continued from February 17th, 2026 agenda

Proposed Developments

Below are current development projects in Des Peres. Click on the project to view renderings of the development.

Please see Hospital Campus

Updates <https://www.desperesmo.org/1643/Hospital-Campus-Updates> for the most recent news on the St. Luke's Hospital Campus.

Recently Approved:

[Petition for Conditional Use Permit – 12340 Manchester Rd \(Des Peres Corners Shopping Center\)](#) – Cava Mediterranean Restaurant

Petition was approved at the November 10, 2025 Board of Aldermen meeting. Construction is underway.

[Petition for Amended Conditional Use Permit – 1052 N. Ballas Rd](#) – Dave's Hot Chicken

The Planning and Zoning Commission considered the petition at their June 11 and July 9 meetings. A Public Hearing was held at the Board of Aldermen meeting on September 8. Petition was approved at the September 8, 2025 meeting. Dave's Hot Chicken is officially open for business as of November 7.