



Agenda

**Planning & Zoning Commission Meeting
City of St. Peters Justice Center
1020 Grand Teton Drive, St. Peters, MO 63376
July 1, 2026, at 6:30 PM**

- A. Call to Order
- B. Invocation
- C. Pledge of Allegiance
- D. Attendance
- E. Approval of Minutes
 - 1. Minutes - June 3, 2026
- F. Communications and Reports of Officers
 - 1. Staff Recommendations
- G. Old Business
 - 1. Public Hearings and Site Plans:
 - a. Petition SU 26-02 – Gorilla Express Autowash: a request for a special use permit in the C-2 Community Commercial District for a 1.21 +/- acre trach to allow a car wash. The subject site is located on the north side of Mexico Road, west of Deer Grove Drive, east of Salt Lick Road – 7860 Mexico Road. (Ward 1)
 - b. Gorilla Express Autowash: north side of Mexico Road, west of Deer Grove Drive, east of Salt Lick Road. (Ward 1)
 - 2. Other:
 - a. Everhome Suites: south side of Interstate 70, west of Salt Lick Road – site plan and special use permit re-approval. (Ward 1)
 - b. Baucom’s Life Celebration Center: south side of Veterans Memorial Parkway, east of Jungermann Rd. – site plan re-approval. (Ward 1)
- H. New Business
 - 1. Other:
 - a. Aahaar Vihaar, LLC: north side of North St. Peters Parkway, east of Jungermann Road – 3603 North St. Peters Parkway – use approval: temporary food truck. (Ward 4)
 - 2. Record Plats:
 - a. Townhomes at Lienemann Park Plat Five: south side of Highway 364/South St. Peters Parkway, east of Cinnamon Hills Drive. (Ward 4)

3. Public Hearings:

- a. Petition SU 26-05 – Pack Leader Training Academy, LLC c/o Rachael Skaggs: a request for a special use permit in the I-1 Light Industrial District for a 0.6 acre property to allow the training and boarding (kenneling) of dogs. The subject site is located on the west side of Harvestowne Industrial Drive, south of South St. Peters Parkway – 1339 Harvestowne Industrial Drive. (Ward 4)

4. Site Plans:

- a. Cherokee Industrial: east side of Patmos Drive, south side of Cherokee Drive. (Ward 1)

I. Adjournment

Agenda Posted at City Hall: 6/26/2026 at 4:00 p.m.

By: M. Vollmer, Planning, Community & Economic Development Specialist

Next Regular Planning and Zoning Commission Meeting: August 5, 2026

The meeting is available for viewing at www.sptvnow.net



**MINUTES
 PLANNING & ZONING COMMISSION
 ST. PETERS JUSTICE CENTER, 1020 GRAND TETON DR, ST PETERS, MO 63376
 MEETING OF JUNE 3, 2026 6:30 P.M.**

CALL TO ORDER:

Chairman Luehrs called the meeting to order at approximately 6:30 p.m.

INVOCATION:

A moment of silent prayer was observed.

PLEDGE OF ALLEGIANCE:

All in attendance said the Pledge of Allegiance.

ATTENDANCE:

Those in attendance were: Joseph Markus, Renee Tillman, Charles McBride; Alderman Judy Bateman; Shirley Moore; Leah Petras; Chairman John Luehrs; Madaline Barteau; Chris Jones; Steven Bailey; Terry Lesinski; Ken Braunfeld Planning Coordinator; Tony Friedman, City Engineer; Julie Powers, Director of Planning, Community & Economic Development; Melissa Vollmer, Recording Secretary and George Olivas, Building Commissioner. City Attorney Drew Weber was also present.

MINUTES:

A motion was made by Mr. Bailey and seconded by Mr. Markus to approve the minutes of the May 6, 2026 Planning and Zoning Commission meeting. The motion carried unanimously.

COMMUNICATIONS AND REPORTS OF OFFICERS:

Chairman Luehrs explained the procedures for this evening’s meeting. Ms. Powers noted that the items requiring Board action will be on the June 25th BOA meeting Agenda.

OLD BUSINESS

1. Public Hearings:

- a. Petition SU 26-02 – Gorilla Express Autowash: a request for a special use permit in the C-2 Community Commercial District for a 1.21 +/- acre tract to allow a car wash. The subject site is located on the north side of Mexico Road, west of Deer Grove Drive, east of Salt Lick Road – 7860 Mexico Road.

Ms. Julie Powers noted that the applicant has requested another extension on this item. Ms. Petras made a motion and Mr. Lesinski seconded to continue this public hearing until the July 1st Planning and Zoning Commission meeting. The motion was approved.

Bailey: Yes Jones: Yes McBride: Yes Petras: Yes Markus: Yes Moore: Yes
 Tillman: Yes Bateman: Yes Lesinski: Yes Luehrs: Yes Barteau: Yes
 AYES: 11 NAYS: 0 ABSTENTIONS: 0 ABSENT: 0

- b. Gorilla Express Autowash: north side of Mexico Road, west of Deer Grove Drive, east of Salt Lick Road.

Ms. Julie Powers noted that the applicant has requested another extension on this item. Ms. Barteau made a motion and Mr. Jones seconded to postpone this item until the July 1st Planning and Zoning Commission meeting. The motion was approved.

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Bailey: Yes Jones: Yes McBride: Yes Petras: Yes Markus: Yes Moore: Yes
Tillman: Yes Bateman: Yes Lesinski: Yes Luehrs: Yes Barteau: Yes
AYES: 11 NAYS: 0 ABSTENTIONS: 0 ABSENT: 0

2. Site Plans:

- a. Idle Storage & Condominiums: east side of Kisker Road, south of Route 364 – site plan reapproval.

Mr. Mike Meiners, St. Charles Engineering and Surveying, presented this to the Commission for approval. Mr. Meiners explained that in 2023 the developer of the site obtained approval of a revised plan for a storage building and two multi-family condominium buildings. Since June 2023, the developer has been working to obtain the needed approvals from the City regarding reforestation, engineering, and building permits. They have also been working to obtain needed approvals from the Corps of Engineers due to the creek on the site. Since project construction has not begun, site plan reapproval is required. Ms. Petras made a motion and Ms. Barteau seconded to re-approve this site plan. The motion was approved.

Bailey: Yes Jones: Yes McBride: Yes Petras: Yes Markus: Yes Moore: Yes
Tillman: Yes Bateman: Yes Lesinski: Yes Luehrs: Yes Barteau: Yes
AYES: 11 NAYS: 0 ABSTENTIONS: 0 ABSENT: 0

NEW BUSINESS

1. Other:

- a. Sabor y Baile Fest, LLC d/b/a One World Fest: south side of Veterans Memorial Parkway, east of Mid Rivers Mall Drive – use approval – temporary multicultural festival at Mid Rivers Mall.

Ms. Cindy Jurado, One World Fest, Haley Properties, presented this to the Commission for approval. Ms. Jurado explained that this event will be the second One World Fest held at Mid Rivers Mall. The event, excluding set up and take down will be held August 22 – August 23, 2026; they will be located in the parking area between the former Sears and JC Penney, near Best Buy. The festival will include international food booths, a drink area, a kid’s zone and a main stage. Ms. Jurado noted that there would be two police officers present each day, all day, during the event. Mr. Bailey made a motion and Mr. Markus seconded to approve this temporary use with the following contingency:

1. Obtain all required licenses for food vendors and other vendors, and all required inspections of tents.

The motion was approved.

Bailey: Yes Jones: Yes McBride: Yes Petras: Yes Markus: Yes Moore: Yes

Tillman: Yes Bateman: Yes Lesinski: Yes Luehrs: Yes Barteau: Yes
AYES: 11 NAYS: 0 ABSTENTIONS: 0 ABSENT: 0

- b. Dhavalsinh Zala: south side of Suemandy Drive, west of Grand Teton – use approval – temporary food sales (snow cone stand)

Mr. Zala presented this to the Commission for approval. Mr. Zala explained that he is proposing a stall for the sale of snow cones in the entrance canopy area of India Bazaar market in Mid Rivers Center. They will be operating during the summer months and would begin operations in approximately 20 days. The snow cone stand will be located adjacent to the entrance to the India Bazaar and under the front wall which acts as a canopy.

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There is no tent or outside seating anticipated at this time. Mr. Bailey made a motion and Mr. Markus seconded to approve this temporary use until October 1, 2026 with the following contingencies:

1. Coordinate with the Planning Department regarding the final design and associated component locations.
2. Obtain approval from the Business Licenses Department, Health Department and the Building Department for food sales.
3. Coordinate with the Planning Department regarding any outside seating area including decorative fencing.
4. Note on the plan that the trash will be placed in the trash enclosures controlled by India Bazaar Market.
5. Provide written authorization from the India Bazar Market or other nearby business operator that their restroom and trash services may be used by employees and patrons.
6. Re-review the temporary use location/plan October 1, 2026 if more time is needed.

The motion was approved.

Bailey: Yes Jones: Yes McBride: Yes Petras: Yes Markus: Yes Moore: Yes
Tillman: Yes Bateman: Yes Lesinski: Yes Luehrs: Yes Barteau: Yes
AYES: 11 NAYS: 0 ABSTENTIONS: 0 ABSENT: 0

2. Public Hearings:

a. Land Use and Development Master Plan.

Mr. Tim Brieihan, H3 Studio, presented this to the Commission for approval. Mr. Brieihan provided an overview of the new Land Use and Development Master Plan to the Commission. Chairman Luehrs opened the public hearing at 7:36 p.m. and asked anyone wishing to speak on this plan to please come forward. Seeing no one present to comment, Chairman Luehrs closed the public hearing at 7:36 p.m. Alderman Bateman made a motion and Ms. Petras seconded to approve the resolution adopting the Land Use and Development Master Plan. The motion was approved.

Bailey: Yes Jones: Yes McBride: Yes Petras: Yes Markus: Yes Moore: Yes
Tillman: Yes Bateman: Yes Lesinski: Yes Luehrs: Yes Barteau: Yes
AYES: 11 NAYS: 0 ABSTENTIONS: 0 ABSENT: 0

Mr. Bailey made a motion and Ms. Petras seconded to adjourn the meeting at 7:41 p.m. The motion was approved.

Respectfully submitted:

Melissa Vollmer,
Recording Secretary

John K. Luehrs, Chairman
Planning and Zoning Commission

**STAFF RECOMMENDATIONS TO THE
PLANNING AND ZONING COMMISSION MEETING
JULY 1, 2026**

g. Old Business

1. Public Hearings and Site Plans:

Name/Location of Development:

- a. Petition SU 26-02 – Gorilla Express Autowash: a request for a special use permit in the C-2 Community Commercial District for a 1.21 +/- acre trach to allow a car wash. The subject site is located on the north side of Mexico Road, west of Deer Grove Drive, east of Salt Lick Road – 7860 Mexico Road.

Staff Evaluation:

The proposed project – Gorilla Carwash – is planned for a 0.86 acre site on the north side of Mexico Road, east of Old Salt Lick Road (7860 Mexico Road). The subject site is zoned C-2 Community Commercial which permits a carwash as a special use. The proposed development will reuse the existing one-story, 3,100 +/- square foot tunnel carwash and self-serve vacuum stations.

The existing carwash was originally developed under the name Drive-In/Drive-Out and was approved on August 6, 2003. Since that time the carwash operated under a variety of brands ending when Zips carwash that let their business license expire on December 31, 2023.

In December of 2025, the current owner purchased the property with the intent to operate a carwash. When the owners approached the City regarding the re-opening of the carwash, they were advised the property had been vacant for longer than one year an, therefore, had lost its legal non-conforming status to operate a carwash.

It is noted that in 2003, carwashes were a permitted use in the C-2 Community Commercial District. Also at that time, the surrounding properties were vacant and also zoned C-2 Community Commercial District. In 2008 the Goddard pre-school was developed to the north. On December 16, 2021, via Ordinance 7545, the property to the east was rezoned to an R-1 Planned Urban Development District for the Deer Grove attached townhome development.

Based on this, the applicant is requesting a special use permit to re-open the carwash, which will include modernization of the interior equipment, a complete update to the exterior façade of the building, new fencing, and landscaping.

Land Use

The land uses along this portion of the Mexico Road corridor include a mix of residential, retail, commercial, fast food, auto repair, and convenience stores with gas. Directly to the north is the Goddard school. To the east are the Deer Grove Townhomes. To the south is Mexico Road, beyond which is the Wyndam Senior Living Apartments. To the west is Old Salt Lick Road, beyond which

is Plaza Tire. The development pattern in this area is a mix of residential with various commercial businesses extending out from the arterial intersection of Mexico Road and Salt Lick Road/Birdie Hills Road.

As noted in the development timeline above, there was an overlap when the carwash was operational. In addition, even if the carwash was closed, a new home buyer or renter could clearly identify the adjacent use as a carwash. Of note, when the townhomes were constructed, the developer chose not to install a fence along their common property line. Therefore, it is fair to assume the developer and/or the buyers were aware of the existing carwash.

With the reuse of the building, the façade will receive a substantial upgrade. In addition, a new sight proof fence and landscaping will be installed. Together, these will significantly improve the look of the site. In addition, the dryer system will be modified to comply with the more restrictive residential sound requirements. Therefore, staff is of the opinion this use is appropriate given the noted improvements, prior circumstances, and frontage to Mexico Road, a commercial arterial roadway.

Traffic Management

Mexico Road is a busy arterial roadway that has been improved over time to accommodate heavy commercial traffic. It is noted the proposed carwash will not impact the flow of traffic on Mexico Road given it is a moderate traffic generation, in contrast to other permitted uses of the property such as fast-food restaurants within a strip center or grocery store.

Access to the site will be from a cross-access driveway easement to Old Salt Lick Road that connects to Mexico Road. Old Salt Lick Road also serves the Goddard School to the north. In addition to the Goddard School, the cross-access easement was established to serve future commercial lots to the east, now occupied by the Deer Grove Townhomes subdivision.

The previous iterations of the car wash facility operated with no stacking or traffic concerns. The proposed layout allows for the stacking of two rows of approximately six cars through the check in station and then seven single lane stacking to the carwash entrance, for a total of approximately nineteen cars. It is noted an additional three “over-flow” stacking spaces could extend into the cross-access driveway, without interfering with the Goddard School curb cut. Even in a worst-case scenario, where an estimated five additional vehicles back to Old Salt River Road (for total of twenty-seven cars), the Goddard School has another entrance to Old Salt River. Therefore, given this analysis and the site’s twenty plus year car wash history, the site has ample vehicle stacking for both standard operations and the worst-case scenario.

Noise

The entrance to the existing car wash facility is on the west side of the building with the exit on the east side of the building that will include vehicle dryers. As noted, the car wash pre-dates the residential development to the east; however, with the special use, the facility will be required to meet current noise standards. A review of the manufacturer’s vehicle dryer information finds the blowers will create between 70dba and 75dba at the property line, well in excess of the permitted 54dba to 61 dba. Based on this, a sound study to review noise impacts found that to mitigate the noise a twelve-foot-tall wall will be required along a portion of the property line. It is noted the applicant indicated he

thought the dryers would meet the sound requirements (without a wall) if they were turned down, although they would be less effective. However, staff believes the wall, if textured and landscaped, will be attractive and “blend away” and be the most certain approach to noise mitigation.

It is noted the previous car wash companies had an unscreened vacuum system which was in place when the adjacent subdivision was constructed; there have been no complaints. The new owner intends to install a new state of the art quiet vacuum system and construct an enclosure. Based on this, there should not be any noise interference generated by the new vacuum system.

Design

The carwash pre-dated the townhomes and, therefore, a fence was not required at the time the carwash was constructed. As previously noted, when the townhomes were constructed, the developer chose not to install a fence along their common property line. With this development, a six-foot-tall sight proof vinyl fence will be installed along the east property line, wrapping a portion of the north property line, to provide a solid visual buffer adjacent to the buffer wall. In addition, the existing landscaping will be enhanced, and a line of trees will be installed along the east property line towards the Deer Grove Townhomes.

The existing building is dated and in need of maintenance. The proposed design will include a complete update of the facade. This includes refacing the building in brick and block, with EFIS accents and a new cornice. A masonry wainscot around the perimeter with the addition of pilasters will provide additional interest. The ends of the building and center will also receive a raised feature element projecting above the roof line. Overall, the proposed façade will be a substantial upgrade and bring the building up to contemporary architectural standards. It is noted that staff will be working with the owner to finalize a few design elements, including the masonry materials and the design of the elevated feature elements.

Special use standards

Per the City of St. Peters Zoning Code, the review of any proposed special use must include consideration of certain standards; these are addressed below:

- a. *Conformity with the City Code:* The proposed facility, with the conditions contained in the special use permit, will be in keeping with the requirements of the City Code. No variances from the code requirement are proposed.
- b. *Matters pertaining to general welfare:* The facility will be located in the location of a former car wash on an ample sized lot in a commercial area that fronts on a major road. Buffering and noise mitigation is planned along the adjacent residential area. There will be no detriment to the general area.
- c. *Character of the surrounding area:* The subject site includes commercial uses along Mexico Road, and residential development to the north and east. With appropriate buffering, the proposed use would be compatible with the area.

- d. *Compatibility with surrounding uses and neighborhood:* The area zoning and development is commercial and residential. The proposed facility will be in an existing carwash building fronting on a major roadway. The area is appropriate for the proposed use.
- e. *Impact on value of neighboring property.* The carwash, with the conditions contained in the special use permit, will be compatible with adjacent properties. The carwash will be in an existing building originally built and used for a carwash twenty-three years ago. The adjacent residential uses were constructed after the original carwash, and proper mitigation is planned to minimize the impact of noise. Staff does not anticipate any negative impact on the value of surrounding properties.
- f. *The Comprehensive Plan:* The City’s Comprehensive Plan, as amended in 2009, indicates the site area is planned for /commercial uses. The proposed reuse of the carwash building would be consistent with the plan.
- g. *Parking:* The site has been used for a carwash for many years. The parking is adequate and will meet the parking requirements of the City Code.
- h. *Traffic conditions in the surrounding area:* The site is served Mexico Road which have been designed to serve the land uses in the area and is designed to accommodate commercial traffic levels.
- i. *Public Utility facilities:* The existing site is currently served with all utilities; utility services are readily available in this area.
- j. *Conditions:* Specific conditions have been recommended to ensure the use is developed in a manner compatible to the area.
- k. *Time limits:* A time limit is not deemed necessary for the proposed development.

Staff Recommendation:

Staff recommends approval of SU 26-02 subject to the requirements in the attached draft special use permit.

Name/Location of Development:

- b. Gorilla Express Autowash: north side of Mexico Road, west of Deer Grove Drive, east of Salt Lick Road.

Staff Evaluation:

The proposed project – Gorilla Carwash – is planned for a 0.86-acre site on the north side of Mexico Road, east of Old Salt Lick Road (7860 Mexico Road). The subject site is zoned C-2 Community

Commercial which permits a carwash as a special use. The proposed development will reuse the existing one-story, 3,100 +/- square foot tunnel carwash and self-serve vacuum stations.

The existing carwash was originally developed under the name Drive-In/Drive-Out and was approved on August 6, 2003. Since that time the carwash operated under a variety of brands ending when Zips carwash that let their business license expire on December 31, 2023.

In December of 2025, the current owner purchased the property with the intent to operate a carwash. When the owners approached the City regarding the re-opening of the carwash, they were advised the property had been vacant for longer than one year and, therefore, had lost its legal non-conforming status to operate a carwash.

It is noted that in 2003, carwashes were a permitted use in the C-2 Community Commercial District. Also at that time, the surrounding properties were vacant and also zoned C-2 Community Commercial District. In 2008 the Goddard pre-school was developed to the north. On December 16, 2021, via Ordinance 7545, the property to the east was rezoned to an R-1 Planned Urban Development District for the Deer Grove attached townhome development.

Access to the site will be from a cross-access driveway easement to Old Salt Lick Road that connects to Mexico Road. Old Salt Lick Road also serves the Goddard School to the north. In addition to the Goddard School, the cross-access easement was established to serve future commercial lots to the east, now occupied by the Deer Grove Townhomes subdivision.

The previous iterations of the car wash facility operated with no stacking or traffic concerns. The proposed layout allows for the stacking of two rows of approximately six cars through the check in station and then seven single lane stacking to the carwash entrance, for a total of approximately nineteen cars. It is noted an additional three “over-flow” stacking spaces could extend into the cross-access driveway, without interfering with the Goddard School curb cut. Even in a worst-case scenario, where an estimated five additional vehicles back to Old Salt River Road (for total of twenty-seven cars), the Goddard School has another entrance to Old Salt River. Therefore, given this analysis and the site’s twenty plus year car wash history, the site has ample vehicle stacking for both standard operations and the worst-case scenario.

The entrance to the existing car wash facility is on the west side of the building with the exit on the east side of the building that will include vehicle dryers. As noted, the car wash pre-dates the residential development to the east; however, with the special use, the facility will be required to meet current noise standards. A review of the manufactures vehicle dryer information finds the blowers will create between 70dba and 75dba at the property line, well in excess of the permitted 54dba to 61 dba. Based on this, a sound study to review noise impacts found that to mitigate the noise a twelve-foot-tall wall will be required along a portion of the property line. It is noted the applicant indicated he thought the dryers would meet the sound requirements (without a wall) if they were turned down, although they would be less effective. However, staff believes the wall, if textured and landscaped, will be attractive and “blend away” and be the most certain approach to noise mitigation.

It is noted the previous car wash companies had an unscreened vacuum system which was in place when the adjacent subdivision was constructed; there have been no complaints. The new owner intends to install a new state of the art quiet vacuum system and construct an enclosure. Based on this, there should not be any noise interference generated by the new vacuum system.

The carwash pre-dated the townhomes and, therefore, a fence was not required at the time the carwash was constructed. As previously noted, when the townhomes were constructed, the developer chose not to install a fence along their common property line. With this development, a six-foot-tall sight proof vinyl fence will be installed along the east property line, wrapping a portion of the north property line, to provide a solid visual buffer adjacent to the buffer wall. In addition, the existing landscaping will be enhanced, and a line of trees will be installed along the east property line towards the Deer Grove Townhomes.

The existing building is dated and in need of maintenance. The proposed design will include a complete update of the facade. This includes refacing the building in brick and block, with EFIS accents and a new cornice. A masonry wainscot around the perimeter with the addition of pilasters will provide additional interest. The ends of the building and center will also receive a raised feature element projecting above the roof line. Overall, the proposed façade will be a substantial upgrade and bring the building up to contemporary architectural standards. It is noted that staff will be working with the owner to finalize a few design elements, including the masonry materials and the design of the elevated feature elements.

Staff Recommendation:

Staff recommends approval of the amended site plan and building elevations subject to the following contingencies:

Recommended Contingencies:

1. Finalize the elevation drawings with the Planning Department.
2. Provide details of the planned noise mitigation wall for Planning Department review; include textured treatment and landscaping along the wall.

2. Other:

Name/Location of Development:

- a. Everhome Suites: south side of Interstate 70, west of Salt Lick Road – site plan and special use permit re-approval.

Staff Evaluation:

The Everhome Suites hotel site plan and special use permit (SU 24-05) were approved by the Planning and Zoning Commission on August 7, 2024. On August 6, 2025, the special use was

granted a six-month extension to February 4, 2026. Also at that time the site plan was re-approved for one year, being August of 2026.

As permitted under the zoning code, the developer is seeking an additional six-month extension of the special use permit to February 2027 and one year extension of the site plan to August 2027. The applicant indicated they are actively working on the project but are not ready to begin construction.

For background, the site is a 2.61-acre lot zoned C-3 General Commercial District, adjacent to the Woodspring Suites Hotel on the south side of Veterans Memorial Parkway west of Salt Lick Road. The proposed four-story 59,800+/- square foot building will include one hundred and fifteen rooms. One hundred thirty-eight parking spaces will be provided on site. Access to the site is from Veterans Memorial Parkway, which is controlled by MoDOT, and a cross-access easement with the adjacent Woodspring Suites Hotel. Stormwater for both hotels will be collected and managed in a joint stormwater detention basin.

The building design includes a mix of materials including a natural looking stone, polished stone, brick, EFIS and cement fiber board. It is noted the natural stone will wrap around the entire first floor of the building. The roof top utilities will be screened by the building's parapet. Staff is of the opinion that the design is appropriate for the interstate corridor and provides a design that is contrasting but complimentary to the Woodspring Suites Hotel currently under construction.

Staff Recommendation:

Based on the review above, staff recommends the granting of a six month extension of the special use permit to February 2027 and a one-year extension of the site plan to August 2027.

Name/Location of Development:

- b. Baucom's Life Celebration Center: south side of Veterans Memorial Parkway, east of Jungermann Rd. – site plan and special use permit re-approval.

Staff Evaluation:

The Baucom's Life Celebration Center received site plan approval from the Planning and Zoning Commission on August 6, 2025. The applicant is interested in pursuing the project; however, construction has been delayed and they are requesting a one-year extension of the site plan to August of 2027.

The subject 2.61-acre site is located on the south side of Veterans Memorial Parkway, east of Jungermann Road, (4189 Veterans Memorial Parkway). The property contains the vacant Bank of America building. The proposed reuse of the site is for a celebration of life center that will operate much like a funeral home, but without the funeral services including embalming. This includes offices, space for services, viewing parlors, meeting rooms, and banquet space.

At the August 6, 2025 meeting, the Planning and Zoning made a favorable recommendation to the Board of Alderman to change the zoning from C-3 General Commercial District to a CPD Commercial Planned District to allow for the internment of cremated remains. Specifically, the accessory use of the property is the internment of cremated remains within a columbarium or the building in conjunction with the use of the property for a celebration of life center. This request was granted by the Board of Alderman on August 28, 2025 via Ordinance 8183

The redevelopment of the site will include a 3,700 square foot addition and a columbarium. The addition will add a multi-purpose room that can be used for services, viewing parlor or meeting and banquet space. The drive-up ATM area facing Veterans Memorial Parkway will be converted into additional parking. The total required parking is 127 spaces, and the site will include 128 spaces. Access to the site will remain the same; this includes a curb cut to Jungermann Road, Westway Drive, and North Cloverleaf Drive.

The proposed columbarium will be located adjacent to the northwest corner of the building and include 200 niches. In addition, 600 niches will be available inside the existing building. Generally, the niches range in size from 12"x12", 12"x18" (most common), and 12"x24", and occasionally 18"x24". As noted in the CPD, the interned remains may be either human and/or dogs and cats.

The existing brick building will be painted a more contemporary two-tone color. In addition, a stone accent panel will be added. The proposed addition will include a brick base, EFIS walls, and stone or brick corner columns. The existing roof top screening will also be refreshed.

The columbarium element will be a circle. The design of the columbarium with the circle of niches facing inward screens the niches from the outside and also provides privacy for the visitors. The scale of the columbarium, including the height and width of the niche walls, fits attractively inside the green space next to the building, and is compatible with the architecture of the building. Together, these elements allow the proposed columbarium to appropriately relate with the larger use of the celebration of life facility.

Staff Recommendation:

Based on this analysis, staff recommends re-approval of the site plan and elevations with no contingencies.

h. New Business

1. Other:

Name/Location of Development:

- a. Aahaar Vihaar, LLC: north side of North St. Peters Parkway, east of Jungermann Road – 3603 North St. Peters Parkway – use approval: temporary food truck.

Staff Evaluation:

The applicant is proposing a food truck location in the parking lot at the Crown Pointe Plaza shopping center at 3603 North St. Peters Parkway. The proposed use is for a food truck selling South Indian food. The applicant has approval from the property owner to operate.

The applicant has indicated the food truck will come to the location on most days of the week during premium shopping hours – 9:00 a.m. – 10:00 p.m. with a two-three hour break. The operator would like to be at this location for as long as permitted. It is noted that if the hours or days of operation expand or contract, it would not affect the appropriateness of the use at this location. The applicant will continue to work with the Business Licensing Department and Health Department, to meet the various health and safety regulations.

Food will be cooked in the food truck. Staff understands that the food truck operator will use the bathroom inside the shopping center and the trash dumpsters on site. Ample customer parking is available in the parking lot.

In this case, the applicant will be operating from a standard food truck, which will contain the operation of the business. It is noted the market is shifting and that “pop-up” food vendors and/or food trucks are becoming more popular. This includes two seasonal businesses, The Shaved Ice Shack at the Promenade and the Kiraboos Shaved Ice in front of Schnucks, and also a food truck and food stand in the Hood’s parking lot and in the center adjacent to Hoods. Noting the acceptance of food trucks, placement in the parking lot will be appropriate. In addition, the location will not interfere with pedestrian or vehicle circulation. No on-site eating is proposed at this time

Staff believes the use will be appropriate at the subject location given the accessory nature of food trucks, and the availability of parking, trash service, and bathrooms. Staff notes that other food trucks and stands have been limited in the length of time given the potential impact on “brick and mortar” businesses. Therefore, staff recommends the applicant be permitted to operate for three (3) months (July - September) at this location.

Staff Recommendation:

Staff recommends approval of the requested food truck subject to the following contingencies:

Recommended Contingencies:

1. Obtain approval from the Business Licensing Department, Health Department, and the Building Department for food sales.
2. Request re-approval at the October 2026 P&Z meeting to operate after September, 2026, if desired.

2. Record Plats:

Name/Location of Development:

- a. Townhomes at Lienemann Park Plat Five: south side of Highway 364/South St. Peters Parkway, east of Cinnamon Hills Drive. (Ward 4)

Staff Evaluation:

The subject development was recommended by the Commission in November, 2023 and approved by the Board of Aldermen on Nov. 9, 2023. The development is under construction and will include 226 attached townhome units and amenities. The development will occur in two phases and includes 19.34 acres which was donated to the City for use as a public, passive park.

Plat One was approved in February 2024; it created the phased areas of development and the park tract, thereby allowing the park donation to the City to move forward at the closing of the property between the property owner and developer. Plats Two, Three and Four established lots and easements within the first phase of development. This phase extends from the western property line along Cinnamon Hills Drive to the development entrance from South St. Peters Parkway.

This current plat – Plat 5 - will create an additional twelve lots that are under development along Sesame Loop and Ginger Drive. The issues related to this plat are standard plat contingencies which can all be easily addressed.

In addition, staff is requesting that the labeling of the easements previously established be clarified. Specifically, staff would like the right-of-way and easements to be labeled as “existing” and the book and page for the original establishment of the right-of-way and easements to be included on this and future plats. Also, staff notes that a portion of an older easement on lots 197 – 200 is labeled “to be vacated”; this vacation should happen prior to construction of a building or asap to maintain compliance with City Code.

Staff Recommendation:

Based on the review above, staff recommends approval of the plat with the following contingency:

1. Label previously established right-of-way and easements as existing and provide the book and page for their establishment.
2. Submit paperwork for the easement vacation shown on Lots 197 – 200.
3. The following items are to be provided prior to recording:
 - a. Provide signature and seal.
 - b. Provide verification that all taxes have been paid.
 - c. Provide a digital media copy of the plat

3. Public Hearings:

Name/Location of Development:

- a. Petition SU 26-05 – Pack Leader Training Academy, LLC c/o Rachael Skaggs: a request for a special use permit in the I-1 Light Industrial District for a 0.6 acre property to allow the training and boarding (kenneling) of dogs. The subject site is located on the west side of Harvestowne Industrial Drive, south of South St. Peters Parkway – 1339 Harvestowne Industrial Drive.

Staff Evaluation:

The proposed use will be located within an existing industrial building in Harvestowne Industrial park that has been used for a variety of industrial uses over the years. The applicant is planning to use the site for dog training, which is a permitted use in the I-1 Light Industrial District. However, they also plan to kennel dogs as part of the training business; this requires a special use permit.

The kennel will be within the existing industrial building. Staff notes the building is properly heated and cooled and is scheduled for review by the City’s Building and Animal Control departments to ensure compliance with City Code. Staff notes the applicant is considering a darker grey color for the building and plans to upgrade the awning features on the building. Also, the overhead door facing Harvestowne Industrial Drive may be shifted to an attractive glass man door. These, or similar modifications to the exterior, will create a more attractive commercial/ industrial appearance. In addition, landscape clean-up and enhancement are planned to improve the overall appearance of the site. Staff notes the building details are referenced in the special use permit conditions with stated completion dates.

Staff notes the dog training is a permitted use on site. The applicant indicated they will be training 15 – 20 dogs and will include 6 – 8 dog runs ranging in size from 4’ x 6’ to 6’ x 8’. Hours of operation will be from 7:00 a.m. to 5:00 p.m. There are nine parking spaces on site, but there is ample area to add more spaces to meet the code requirements for parking; there will be adequate spaces to accommodate the clients dropping off or picking up dogs at any time. If outside, dogs will be supervised by the operator or a staff member. The outdoor restroom area will be cleaned daily, and only one dog will be in the outside area at a time.

The surrounding land uses include industrially zoned property in the I-1 District to the north, east and west; to the south is industrially zoned properties in the I-2 District. In general, the surrounding land uses are light industrial uses – auto repair, warehouse/storage, machine shops and similar uses. Another kennel, the Watering Bowl, was approved at a location to the north in 2018. The applicant is planning to develop a relationship with the Watering Bowl to best accommodate dogs at various training levels. Overall, the site is conducive to the kennel as the kennel activity will be in an area with no residences that has included a kennel for eight years with no issues.

The site area is served by Harvestowne Industrial Drive which is off S. St. Peters Parkway – part of the Highway 364 system. These roads are designed to carry heavy traffic levels, and the roads in the industrial park accommodate truck and employee traffic on a regular basis.

Staff is of the opinion a kennel can operate without detriment to the area. The business will be located along an industrial roadway and the site has easy access. The site was used for light industrial uses for years without issue. Overall, the proposed use will provide a valued service to the community and occupy a vacant building.

Per the City of St. Peters Zoning Code, the review of any proposed special use must include consideration of certain standards; these are addressed below:

- a. *Conformity with the City Code:* The proposed facility, with the conditions contained in the special use permit, will be in keeping with the requirements of the City Code. No variances from the code requirement are proposed.
- b. *Matters pertaining to general welfare:* The facility will be located within an existing industrial park on an ample sized lot which can be easily accessed by clients of the operator. There will be no detriment to the general area.
- c. *Character of the surrounding area:* The subject site includes industrial uses within an industrial park, south of a major roadway. The proposed use would be compatible with the area given the proximity of another kennel and the general industrial area.
- d. *Compatibility with surrounding uses and neighborhood:* The area zoning and development is light industrial. The proposed facility will be in an existing industrial building and near another kennel. The area is well suited to the kennel and training uses.
- e. *Impact on value of neighboring property.* The kennel, with the conditions contained in the special use permit, will be compatible with adjacent properties. The kennel will be in an existing industrial building and near another kennel facility that has been in place for eight years. There are no residential uses in the area to be impacted by noise. Staff does not anticipate any negative impact on the value of surrounding properties.
- f. *The Comprehensive Plan:* The City's Comprehensive Plan, as amended in 2009, indicates the site area is planned for industrial/commercial uses. The proposed use of a kennel would be consistent with the plan.
- g. *Parking:* The site has been used for light industrial use for many years. The parking is adequate for clients, and additional spaces can be striped so as to meet the parking requirements of the City Code.
- h. *Traffic conditions in the surrounding area:* The site is served off of Highway 364 and Harvestowne Ind. Drive which have been adequately improved to serve the land uses in the area and is designed to accommodate industrial/commercial traffic levels.
- i. *Public Utility facilities:* The existing site is currently served with all utilities; utility services are readily available in this area.
- j. *Conditions:* Specific conditions have been recommended to ensure the use is developed in a manner compatible to the area.

- k. *Time limits:* A time limit is not deemed necessary for the proposed development.

Staff Recommendation:

Based on this analysis, staff recommends approval of Petition SU 26-05 subject to the draft Special Use permit.

4. Site Plans:

Name/Location of Development:

- a. Cherokee Industrial: east side of Patmos Drive, south side of Cherokee Drive. (Ward 1)

Staff Evaluation:

The proposed project will be located on a 2.2 +/- acre lot at the southeast corner of Cherokee and Patmos Drive. The project will include a 42,400+/- square foot office/warehouse building. The site will be accessed from two curb cuts along Cherokee Drive and one to Patmos Drive. The site will include forty-two parking spaces, well in excess of the required thirty-three. Truck access has been designed so that full size semi-trailers can navigate the site and back up into the truck dock with little to no interference to Cherokee Drive or Patmos Drive.

The property is located within Lot 2 and 3 of the Ackerman Subdivision. As a part of this project, the two lots will be combined to accommodate the development. It is noted that there was an existing utility easement between the two lots that has been vacated. The City's right to the easement has also been vacated and this will be noted on the site plan.

Staff is working with the developer on a landscape plan that includes street trees and a lighting plan that includes downcast fixtures. In addition, the design of the trash enclosure and the location and type of the truck dock fencing is also being finalized.

The construction of the building will be tilt up concrete. Paint and scoring of the walls will be used to provide interest to the façade. Three truck docks will face west toward Patmos Drive with two pull in overhead doors facing north towards Cherokee Drive. The office entrances will have glass storefronts each with a metal canopy. Staff will be finalizing the screening of any roof top mechanical equipment with the architect. Overall, the contemporary design of the building is attractive and will advance the aesthetics of the industrial park.

Staff Recommendation:

Staff recommends approval of the site plan and elevations subject to the following contingencies:

Recommended Contingencies:

1. Coordinate the consolidation of the two lots with the Planning Department.

2. Note the book and page of the City easement vacation on the site plan.
3. Provide a landscape plan, including street trees.
4. Provide a lighting plan including downcast building and wall lighting; provide a light pole at each curb cut.
5. Coordinate the material for the trash enclosure with the Planning Department.
6. Call out a fence along the truck dock and note all fencing to be vinyl coated and/or decorative.

SPECIAL USE PERMIT
(Gorilla Express)

RECOMMENDATION

The Special Use Permit requested pursuant to Special Use Permit Application No. 26-02 (the “Application”) shall be, and hereby is GRANTED subject to the following terms and conditions:

- A. The St. Peters Planning and Zoning Commission considered:
1. The Application submitted by Gorilla Express Autowash on March 20, 2026.
 2. Testimony provided at a public hearing conducted by it on the Application;
 3. The Site Plan, a copy of which is attached hereto and is incorporated by reference herein;
 4. The St. Peters City Code, which is incorporated by reference as though fully set forth herein;
 5. The City’s Comprehensive Plan;
 6. The Zoning Map of the City; and
 7. The Report of the Director of Planning, Community and Economic Development with respect to the Application, a copy of which is attached hereto as **Exhibit D** and incorporated by reference herein.
- B. That Gorilla Express Autowash c/o John Chappel, hereinafter referred to as “Applicant”, is a lessee of the Property at 7860 Mexico Road; Car Wash STL 7860 Mexico LLC, a Missouri corporation, hereinafter referred to as “Owner”, is the Owner of a portion of a parcel of real property legally described on **Exhibit A** attached hereto, incorporated by reference herein, and hereinafter referred to as the “Property”.
- C. That Applicant has submitted to the City a Site Plan and Architectural Elevations (**Exhibit B and Exhibit C**) with respect to the use of such portion of the Property, which complies with the provisions of the Zoning and Subdivision Regulations, Title IV of the St. Peters City Code, Section 405.780 D.3.
- D. That the Applicant will rehabilitate the existing building on the Property for a car wash.
- E. That the Property is currently zoned C-2 Community Commercial District.

- F. That Section 405.200.D.3 of the St. Peters City Code provides that a Special Use within the C-2 Community Commercial District includes “car washes”.

TERMS AND CONDITIONS

The Commission hereby recommends approval of this Special Use Permit and the related uses of the Premises as shown on **Exhibit B and Exhibit C**, under the following terms and conditions:

A. Uses:

This Special Use Permit shall authorize the use of the Property for a car wash and all permitted uses in the C-2 Community Commercial District. Any modifications to the Property shall be subject to prior approval by the Planning and Zoning Commission, with minor modifications to be approved by the City's Planning Department.

B. General Requirements:

1. The configuration of the site, landscaping, and lighting shall be as substantially shown on **Exhibit B**. Any minor modifications to the site shall be as approved by the Planning Department. Any substantive changes to the approved building shall first be approved by the Planning and Zoning Commission.
2. The Property shall be operated in compliance with all requirements of the St. Peters City Code.
3. At no time shall vehicles using the carwash back-up onto, stack, line-up on or in any way impede traffic on the cross-access driveway, Old Salt Lick Road, or Mexico Road.
4. When the carwash is closed, all secondary services such as, but not limited to, vacuums shall be turned off.
5. Lighting:
 - a. All fixtures shall be downcast per City Code and designed and positioned so the bulb area is not visible from any residential properties. Decorative lighting shall be as approved by the Planning Department.
6. Noise:
 - a. All machinery, including but not limited to, washing, drying, and vacuums, shall employ best management practices (BMP) to minimize noise below the maximum permitted standards.
 - b. Noise generated on the site including, but not limited to, washing, drying, and vacuums shall not exceed the City noise standards applicable to a residentially zoned

district, per the 15-minute interval.

- c. All future equipment updates, including but not limited to washing, drying, and vacuums shall be subject to the current noise requirements of the City in force at the time of equipment installation.
- 7. The design of the building on the Property shall be as substantially shown on **Exhibit C**. Any minor modifications to the building shall be as approved by the Planning Department. Any substantive changes to the approved building shall first be approved by the Planning and Zoning Commission.
- C. If any provision of the permit shall to any extent be invalid or unenforceable, the remainder of the permit shall not be affected thereby, and each such provision of the permit shall be valid and enforceable to the fullest extent permitted by law.
- D. The Special Use Permit shall only be valid for a period of one (1) year from the date of its approval by the Board of Alderman, unless within such period:
 - 1. a building permit is issued for and the herein permitted use of the Premises is commenced; or
 - 2. the Board of Aldermen, upon written request of the Owner Under Contract, grants an extension not exceeding one year, without notice of hearing.
- E. The terms and conditions herein set forth shall be deemed to be covenants running with the Premises.
- F. The Owner shall comply with all other requirements of the City's Zoning and Subdivision Regulations, including but not limited to parking and signage requirements, and any other city, state, or federal regulations that are applicable unless otherwise stated herein.

ST. PETERS PLANNING AND ZONING
COMMISSION

By _____
John K. Luehrs, Chairman

Attest:

Secretary

EXHIBIT A

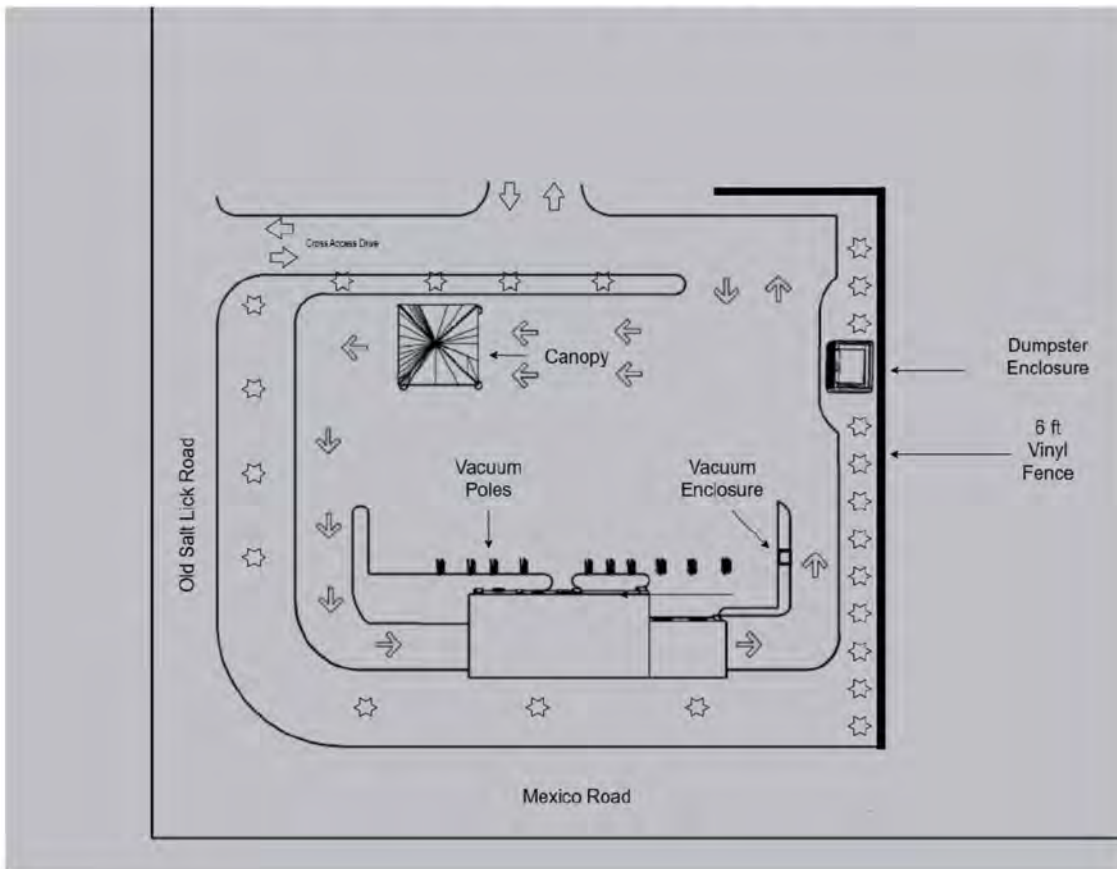
Property Description:

Lot 1 of Deer Ridge Commercial as recorded in Book 40 Page 201
at the St. Charles County Recorder's Office.

EXHIBIT B

Site Plan

Gorilla Express Auto Wash Addendum Site Plan to
The Drive-in/Drive Out Site Plan.



Canopy

- Canopy tarp replaced with tarp to match color scheme of buildings roof
- Poles repainted black

Dumpster Enclosure

- Existing masonry enclosure repainted to a complimentary color of the building

Vacuum Enclosure

- Split faced block enclosure to reduce sound of vacuum system.
- Masonry to match color of building

Vacuum Poles

- Current vacuum poles repainted to match the color scheme of buildings roof

Vinyl Fence

- 6 ft tall vinyl fence to the east wrapping the north and northeast property line to reduce sound coming from car wash

Landscaping Plan

- Deciduous trees min 1- 1/2 " Caliper added along Mexico rd
- Evergreen trees 6' tall min added along the east to create an appropriate visual buffer above the fence
- Existing trees on west and north sides

Lighting

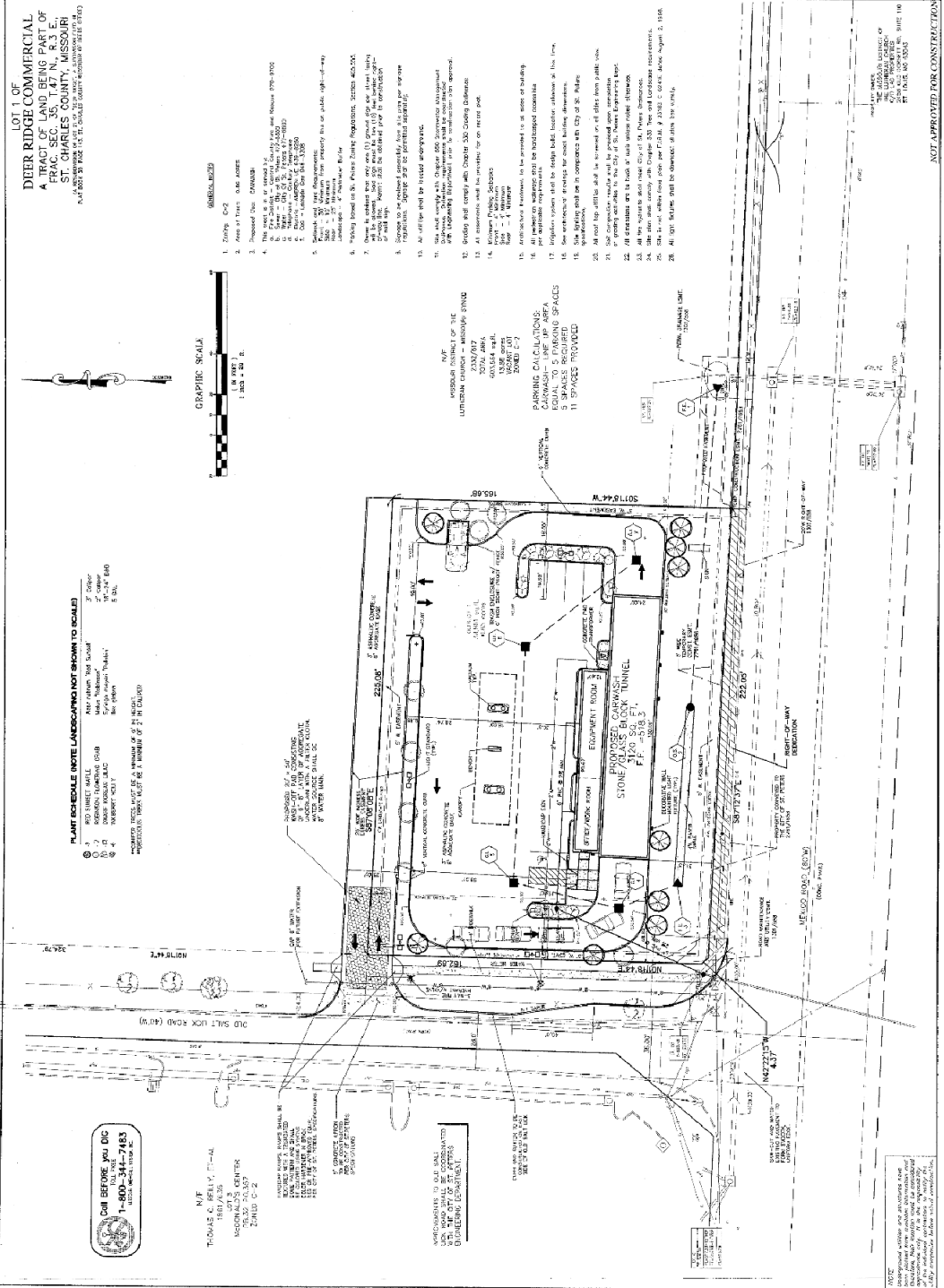
- 2 downcast lighting fixtures placed on each vacuum pole
- Any additional lighting added to building will be downcast

PICKETT RAY & SILVER
CIVIL ENGINEERS
 502 N. Franklin Ave. Ste. 100
 St. Charles, MO 63304
 Phone: (636) 927-1111
 Fax: (636) 927-1184

DRIVE-IN/DRIVE-OUT
 LOT 1 OF DEER RIDGE COMMERCIAL
 ST. PETERS, MO

DRIVE-IN, DRIVE-OUT, INC.
 1919 W. STATE ST.
 ST. PETERS, MO 63376
 (636) 421-1111

PROJECT NO. 2012-001
 SHEET 2 OF 6
 DATE: 11/15/12



NOTE: ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MISSOURI BUILDING CODE AND ALL APPLICABLE ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING CURBS, GUTTERS, AND SIDEWALKS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL EXISTING CONDITIONS TO ORIGINAL OR BETTER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING CURBS, GUTTERS, AND SIDEWALKS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL EXISTING CONDITIONS TO ORIGINAL OR BETTER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

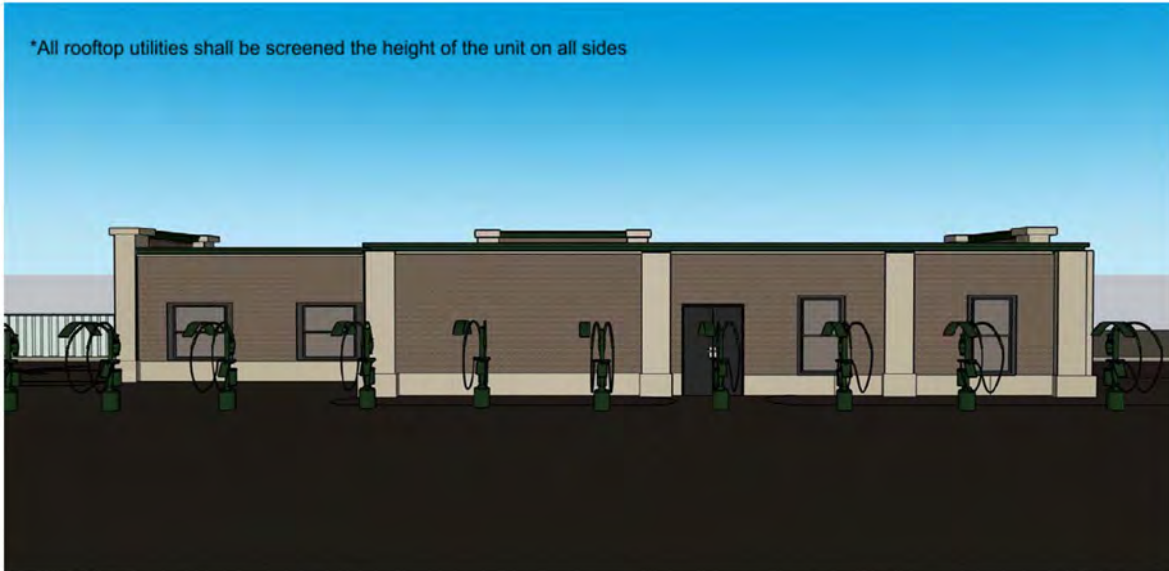
CALL BEFORE YOU DIG
 800-4-A-DIG
 1-800-344-7483
 MISSOURI STATE DEPARTMENT OF TRANSPORTATION

NOT APPROVED FOR CONSTRUCTION

EXHIBIT C
Architectural Elevations
North Elevation



South Elevation



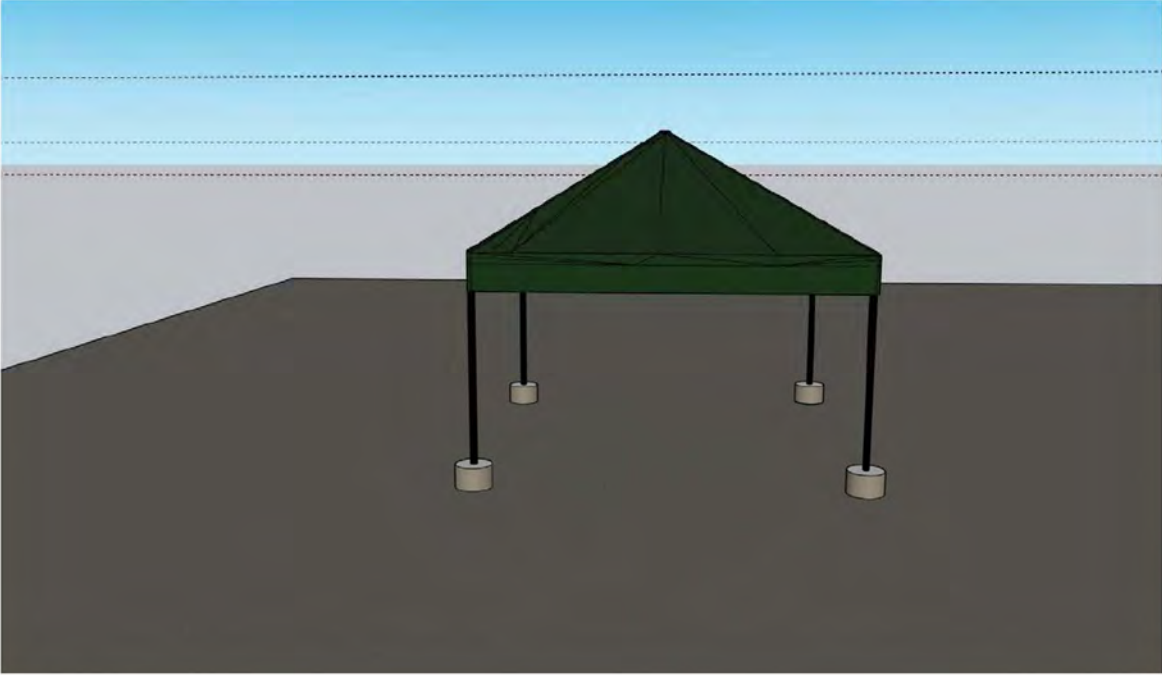
East Elevation



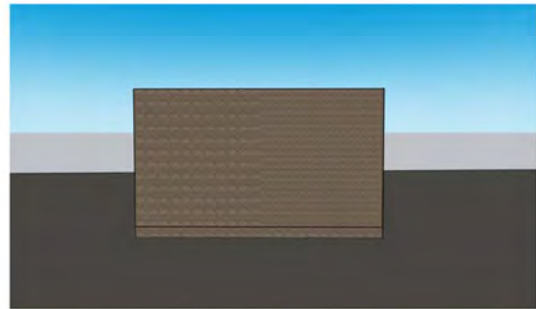
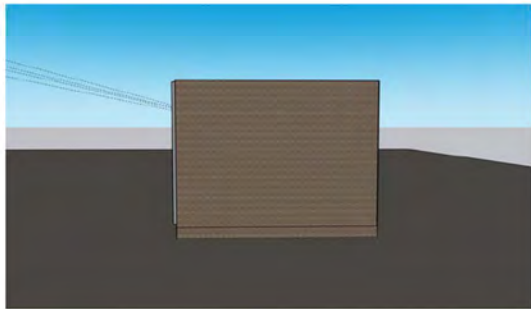
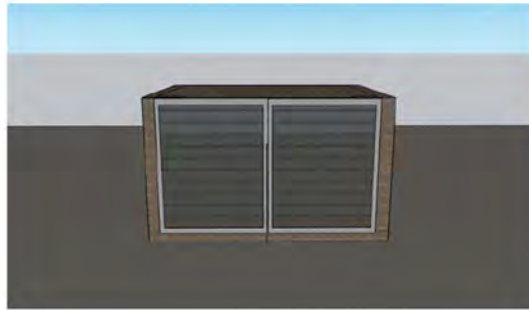
West Elevation



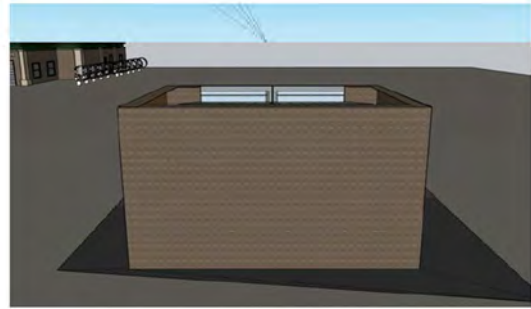
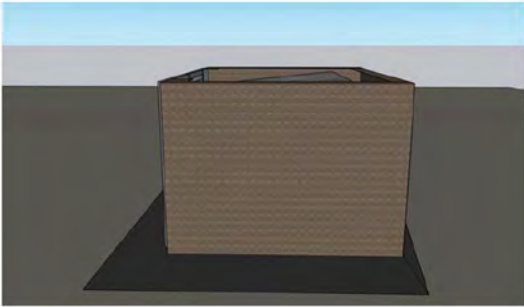
Canopy



Vacuum Enclosure



Dumpster Enclosure



Masonry

Brick Veneer placed over existing walls of building

Main body brick color



Secondary, Contrasting Brick Color Options



Lighting

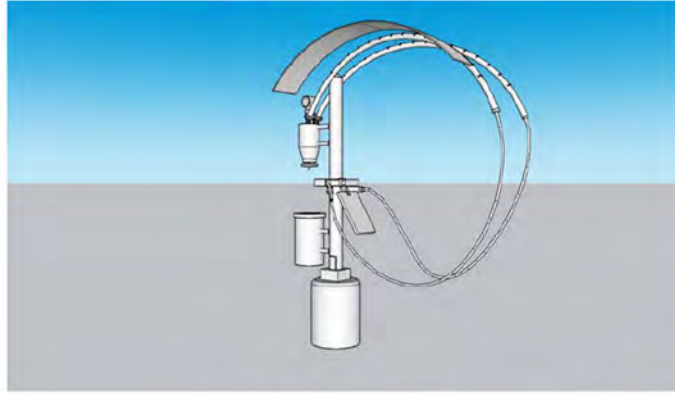


EXHIBIT D

Report of the Director of Planning, Community and Economic Development

- a. Petition SU 26-02 – Gorilla Express Autowash: a request for a special use permit in the C-2 Community Commercial District for a 1.21 +/- acre trach to allow a car wash. The subject site is located on the north side of Mexico Road, west of Deer Grove Drive, east of Salt Lick Road – 7860 Mexico Road.

Staff Evaluation:

The proposed project – Gorilla Carwash – is planned for a 0.86 acre site on the north side of Mexico Road, east of Old Salt Lick Road (7860 Mexico Road). The subject site is zoned C-2 Community Commercial which permits a carwash as a special use. The proposed development will reuse the existing one-story, 3,100 +/- square foot tunnel carwash and self-serve vacuum stations.

The existing carwash was originally developed under the name Drive-In/Drive-Out and was approved on August 6, 2003. Since that time the carwash operated under a variety of brands ending when Zips carwash that let their business license expire on December 31, 2023.

In December of 2025, the current owner purchased the property with the intent to operate a carwash. When the owners approached the City regarding the re-opening of the carwash, they were advised the property had been vacant for longer than one year an, therefore, had lost its legal non-conforming status to operate a carwash.

It is noted that in 2003, carwashes were a permitted use in the C-2 Community Commercial District. Also at that time, the surrounding properties were vacant and also zoned C-2 Community Commercial District. In 2008 the Goddard pre-school was developed to the north. On December 16, 2021, via Ordinance 7545, the property to the east was rezoned to an R-1 Planned Urban Development District for the Deer Grove attached townhome development.

Based on this, the applicant is requesting a special use permit to re-open the carwash, which will include modernization of the interior equipment, a complete update to the exterior façade of the building, new fencing, and landscaping.

Land Use

The land uses along this portion of the Mexico Road corridor include a mix of residential, retail, commercial, fast food, auto repair, and convenience stores with gas. Directly to the north is the Goddard school. To the east are the Deer Grove Townhomes. To the south is Mexico Road, beyond which is the Wyndam Senior Living Apartments. To the west is Old Salt Lick Road, beyond which is Plaza Tire. The development pattern in this area is a mix of residential with various commercial businesses extending out from the arterial intersection of Mexico Road and Salt Lick Road/Birdie Hills Road.

As noted in the development timeline above, there was an overlap when the carwash was operational. In addition, even if the carwash was closed, a new home buyer or renter could clearly

identify the adjacent use as a carwash. Of note, when the townhomes were constructed, the developer chose not to install a fence along their common property line. Therefore, it is fair to assume the developer and/or the buyers were aware of the existing carwash.

With the reuse of the building, the façade will receive a substantial upgrade. In addition, a new sight proof fence and landscaping will be installed. Together, these will significantly improve the look of the site. In addition, the dryer system will be modified to comply with the more restrictive residential sound requirements. Therefore, staff is of the opinion this use is appropriate given the noted improvements, prior circumstances, and frontage to Mexico Road, a commercial arterial roadway.

Traffic Management

Mexico Road is a busy arterial roadway that has been improved over time to accommodate heavy commercial traffic. It is noted the proposed carwash will not impact the flow of traffic on Mexico Road given it is a moderate traffic generation, in contrast to other permitted uses of the property such as fast-food restaurants within a strip center or grocery store.

Access to the site will be from a cross-access driveway easement to Old Salt Lick Road that connects to Mexico Road. Old Salt Lick Road also serves the Goddard School to the north. In addition to the Goddard School, the cross-access easement was established to serve future commercial lots to the east, now occupied by the Deer Grove Townhomes subdivision.

The previous iterations of the car wash facility operated with no stacking or traffic concerns. The proposed layout allows for the stacking of two rows of approximately six cars through the check in station and then seven single lane stacking to the carwash entrance, for a total of approximately nineteen cars. It is noted an additional three “over-flow” stacking spaces could extend into the cross-access driveway, without interfering with the Goddard School curb cut. Even in a worst-case scenario, where an estimated five additional vehicles back to Old Salt River Road (for total of twenty-seven cars), the Goddard School has another entrance to Old Salt River. Therefore, given this analysis and the site’s twenty plus year car wash history, the site has ample vehicle stacking for both standard operations and the worst-case scenario.

Noise

The entrance to the existing car wash facility is on the west side of the building with the exit on the east side of the building that will include vehicle dryers. As noted, the car wash pre-dates the residential development to the east; however, with the special use, the facility will be required to meet current noise standards. A review of the manufacturer’s vehicle dryer information finds the blowers will create between 70dba and 75dba at the property line, well in excess of the permitted 54dba to 61 dba. Based on this, a sound study to review noise impacts found that to mitigate the noise a twelve-foot-tall wall will be required along a portion of the property line. It is noted the applicant indicated he thought the dryers would meet the sound requirements (without a wall) if they were turned down, although they would be less effective. However, staff believes the wall, if textured and landscaped, will be attractive and “blend away” and be the most certain approach to noise mitigation.

It is noted the previous car wash companies had an unscreened vacuum system which was in place when the adjacent subdivision was constructed; there have been no complaints. The new owner intends to install a new state of the art quiet vacuum system and construct an enclosure. Based on this, there should not be any noise interference generated by the new vacuum system.

Design

The carwash pre-dated the townhomes and, therefore, a fence was not required at the time the carwash was constructed. As previously noted, when the townhomes were constructed, the developer chose not to install a fence along their common property line. With this development, a six-foot-tall sight proof vinyl fence will be installed along the east property line, wrapping a portion of the north property line, to provide a solid visual buffer adjacent to the buffer wall. In addition, the existing landscaping will be enhanced, and a line of trees will be installed along the east property line towards the Deer Grove Townhomes.

The existing building is dated and in need of maintenance. The proposed design will include a complete update of the facade. This includes refacing the building in brick and block, with EFIS accents and a new cornice. A masonry wainscot around the perimeter with the addition of pilasters will provide additional interest. The ends of the building and center will also receive a raised feature element projecting above the roof line. Overall, the proposed facade will be a substantial upgrade and bring the building up to contemporary architectural standards. It is noted that staff will be working with the owner to finalize a few design elements, including the masonry materials and the design of the elevated feature elements.

Special use standards

Per the City of St. Peters Zoning Code, the review of any proposed special use must include consideration of certain standards; these are addressed below:

- a. *Conformity with the City Code:* The proposed facility, with the conditions contained in the special use permit, will be in keeping with the requirements of the City Code. No variances from the code requirement are proposed.
- b. *Matters pertaining to general welfare:* The facility will be located in the location of a former car wash on an ample sized lot in a commercial area that fronts on a major road. Buffering and noise mitigation is planned along the adjacent residential area. There will be no detriment to the general area.
- c. *Character of the surrounding area:* The subject site includes commercial uses along Mexico Road, and residential development to the north and east. With appropriate buffering, the proposed use would be compatible with the area.
- d. *Compatibility with surrounding uses and neighborhood:* The area zoning and development is commercial and residential. The proposed facility will be in an existing carwash building fronting on a major roadway. The area is appropriate for the proposed use.

- e. *Impact on value of neighboring property.* The carwash, with the conditions contained in the special use permit, will be compatible with adjacent properties. The carwash will be in an existing building originally built and used for a carwash twenty-three years ago. The adjacent residential uses were constructed after the original carwash, and proper mitigation is planned to minimize the impact of noise. Staff does not anticipate any negative impact on the value of surrounding properties.
- f. *The Comprehensive Plan:* The City's Comprehensive Plan, as amended in 2009, indicates the site area is planned for /commercial uses. The proposed reuse of the carwash building would be consistent with the plan.
- g. *Parking:* The site has been used for a carwash for many years. The parking is adequate and will meet the parking requirements of the City Code.
- h. *Traffic conditions in the surrounding area:* The site is served Mexico Road which have been designed to serve the land uses in the area and is designed to accommodate commercial traffic levels.
- i. *Public Utility facilities:* The existing site is currently served with all utilities; utility services are readily available in this area.
- j. *Conditions:* Specific conditions have been recommended to ensure the use is developed in a manner compatible to the area.

Time limits: A time limit is not deemed necessary for the proposed development.

SU 26-02

From: Steve G. Snarzyk <steve@tm-re.com>
Sent: Monday, April 20, 2026 1:50 PM
To: Melissa Vollmer
Subject: RE: Public Hearing - Petition SU 26-02 - Gorilla Express Autowash



Hi Melissa,


I own a home nearby this proposed project (2 Martin Lane) and received the Notice of Public Hearing letter in the mail. I won't be able to attend the Planning & Zoning Meeting in person but as a neighboring property owner I wanted to send over a message that I am in favor of this project and encourage the commission to approve the request.

Thank you!

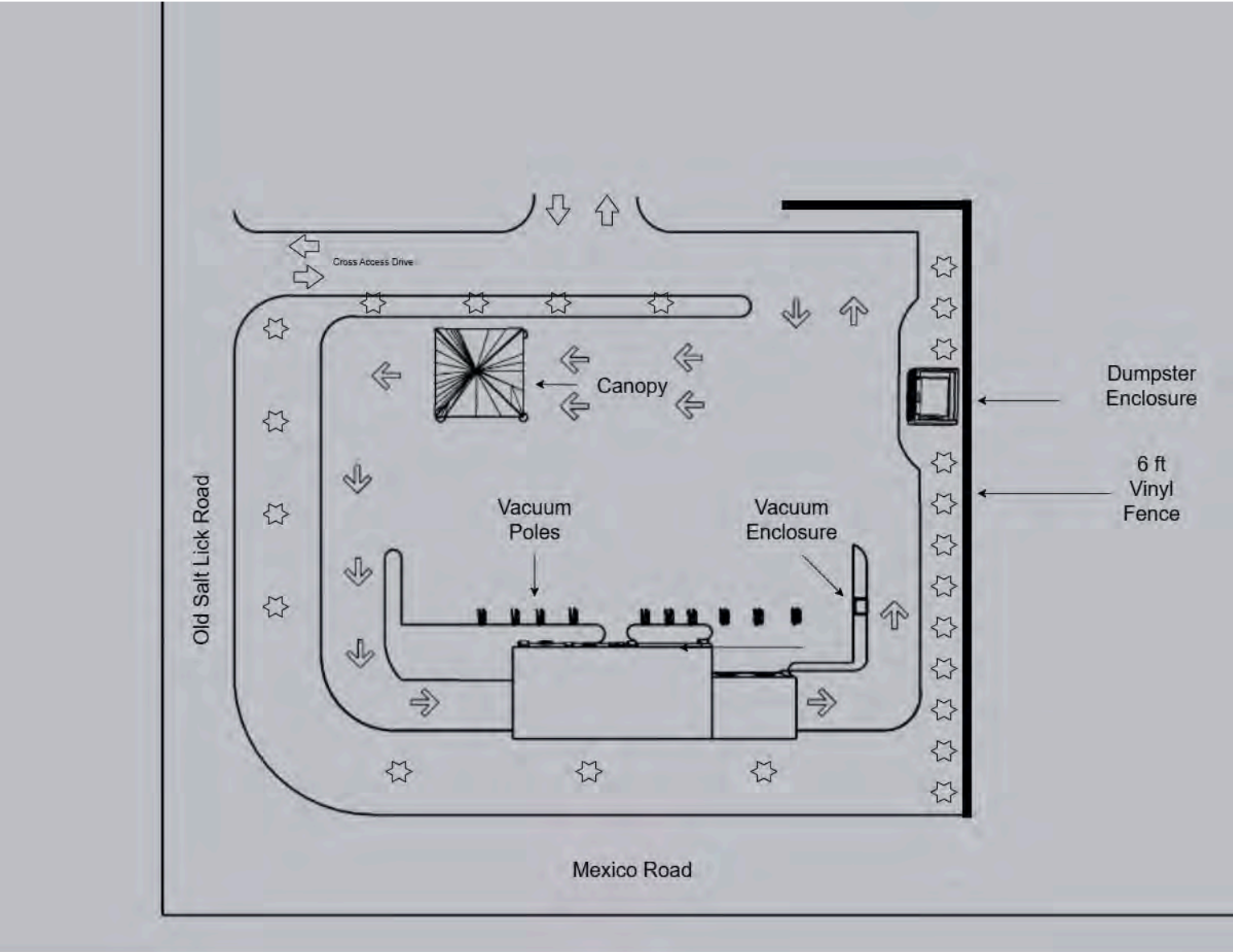
Respectfully,



Steve G. Snarzyk, MBA, GRI
Broker/Co-owner at Trademark Real Estate
m: 314.210.1996 | o: 636.614.4875
219 Main Street | St. Peters, MO 63376
steve@tm-re.com
<http://tmrealtors.com/>

 [Book time to meet with me](#)

Gorilla Express Auto Wash Addendum Site Plan to The Drive-in/Drive Out Site Plan.



Canopy

- Canopy tarp replaced with tarp to match color scheme of buildings roof
- Poles repainted black

Dumpster Enclosure

- Existing masonry enclosure repainted to a complimentary color of the building

Vacuum Enclosure

- Split faced block enclosure to reduce sound of vacuum system.
- Masonry to match color of building

Vacuum Poles

- Current vacuum poles repainted to match the color scheme of buildings roof

Vinyl Fence

- 6 ft tall vinyl fence to the east wrapping the north and northeast property line to reduce sound coming from car wash

Landscaping Plan

- Deciduous trees min 1- 1/2 " Caliper added along Mexico rd
- Evergreen trees 6' tall min added along the east to create an appropriate visual buffer above the fence
- Existing trees on west and north sides

Lighting

- 2 downcast lighting fixtures placed on each vacuum pole
- Any additional lighting added to building will be downcast

North Elevation

*All rooftop utilities shall be screened the height of the unit on all sides



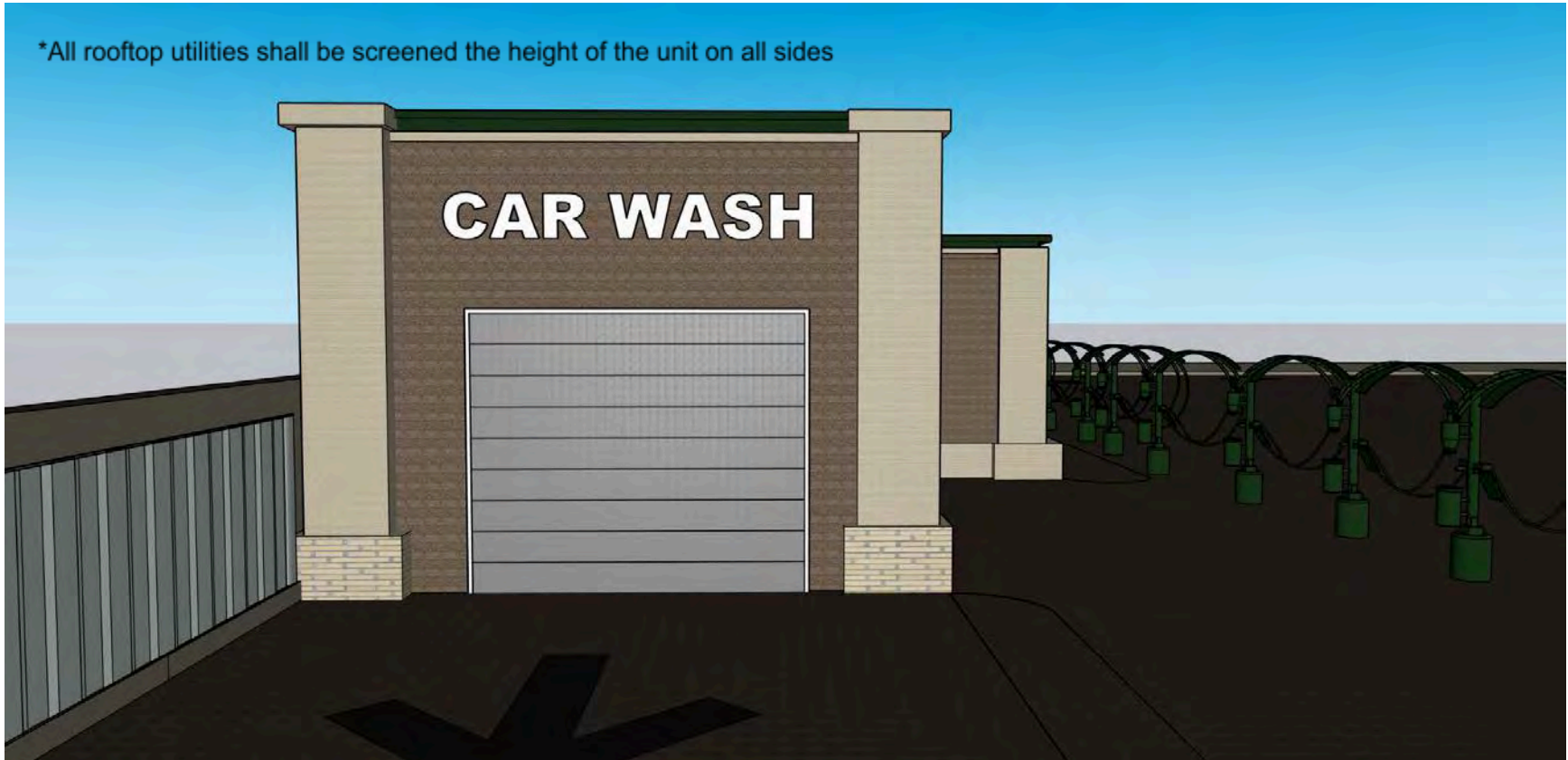
South Elevation

*All rooftop utilities shall be screened the height of the unit on all sides



East Elevation

*All rooftop utilities shall be screened the height of the unit on all sides



West Elevation

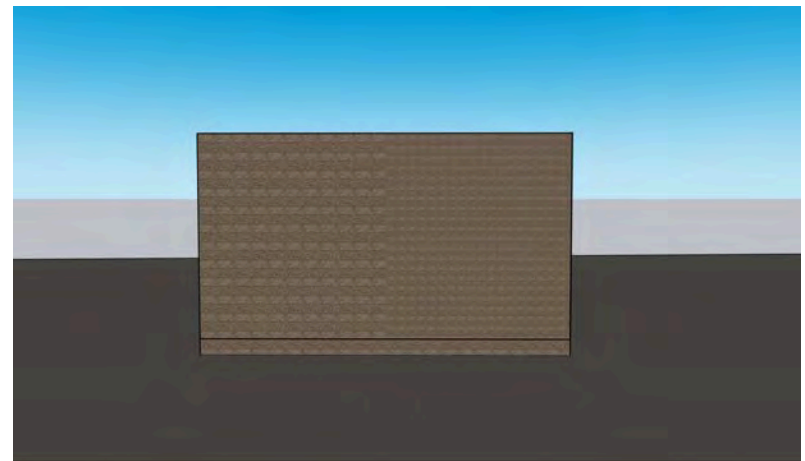
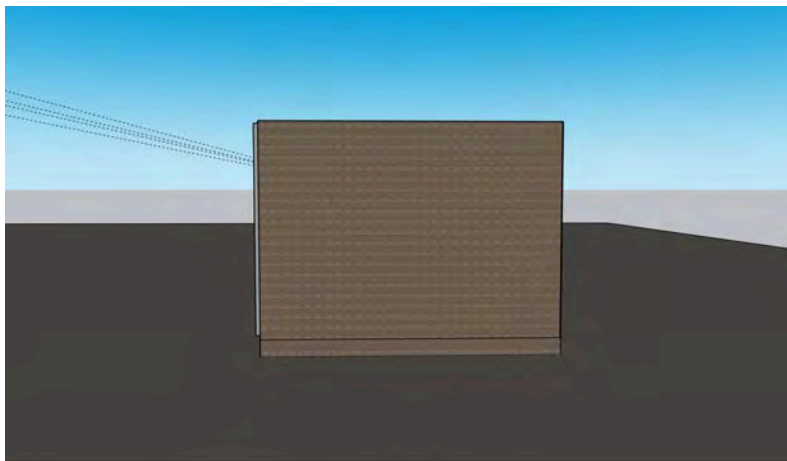
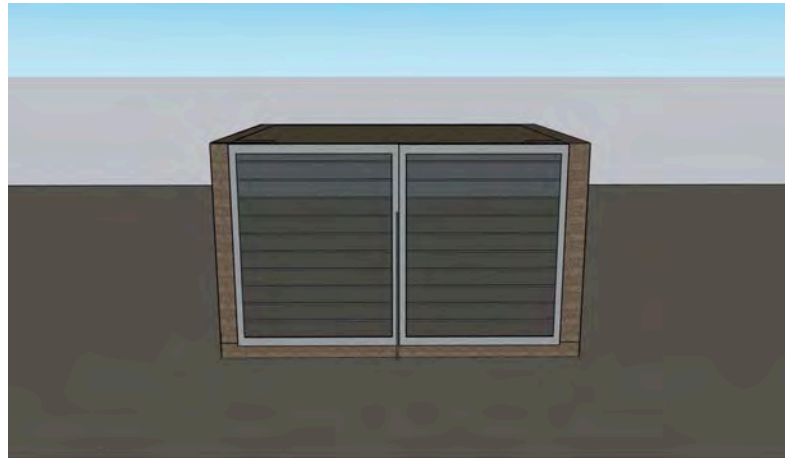
*All rooftop utilities shall be screened the height of the unit on all sides



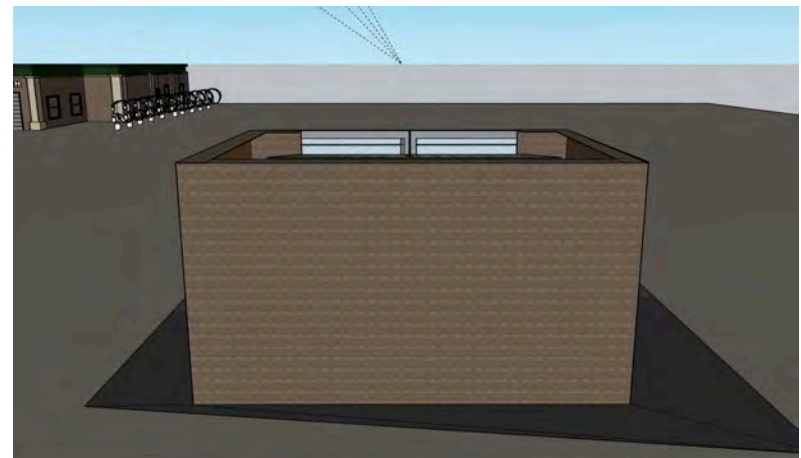
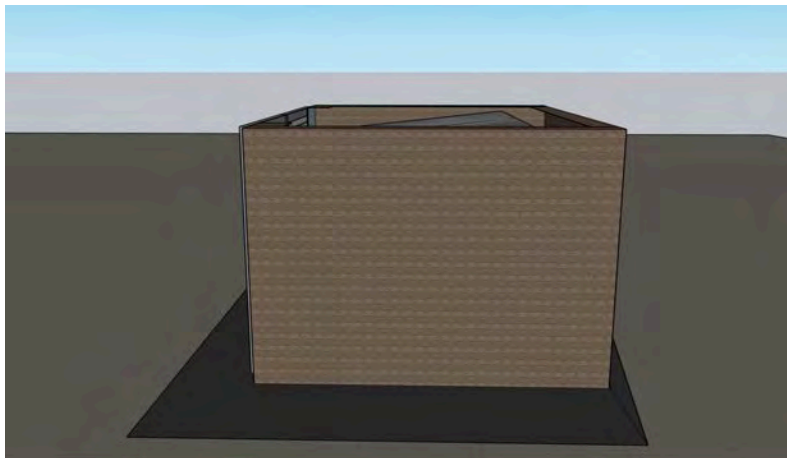
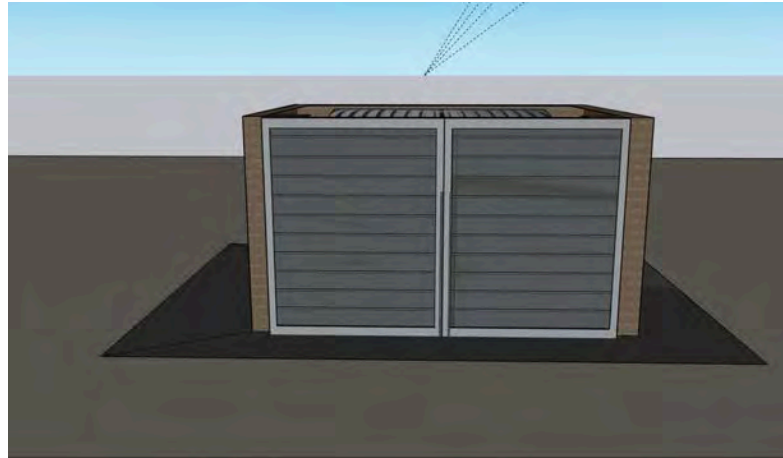
Canopy



Vacuum Enclosure



Dumpster Enclosure



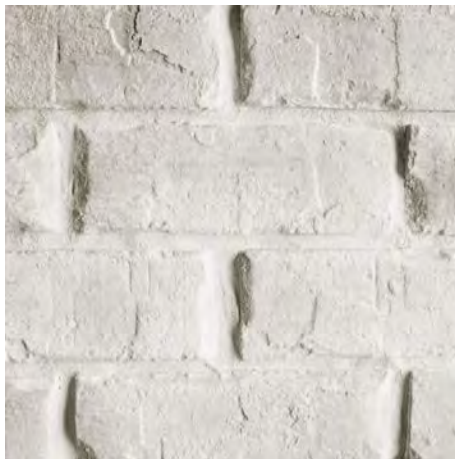
Masonry

Brick Veneer placed over existing walls of building

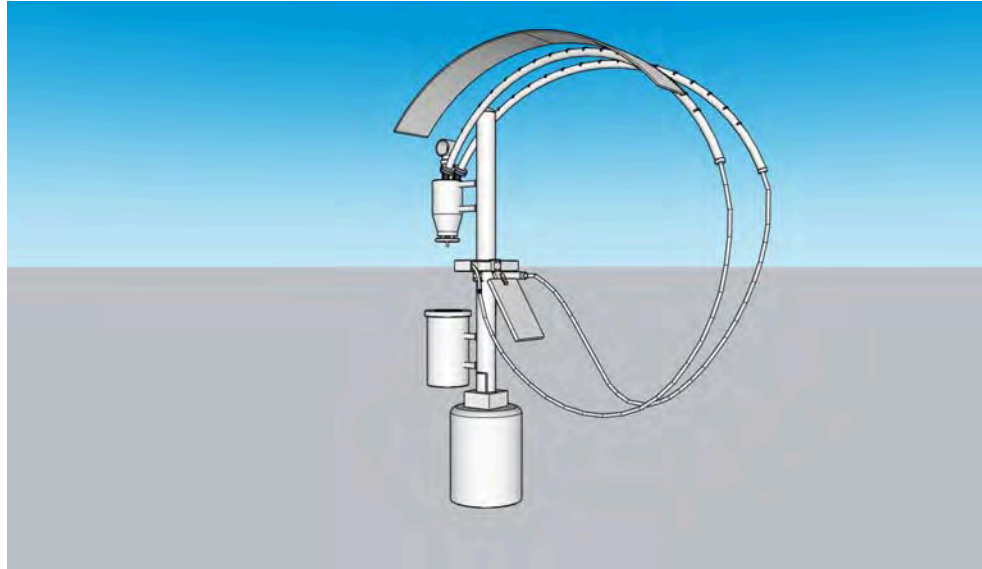
Main body brick color



Secondary, Contrasting Brick Color Options



Lighting



June 24, 2026

Via Email: jon@gorillaexpressautowash.com

Mr. Jon Chappel
 Gorilla Express Auto Wash
 7860 Mexico Rd.
 St Peters, MO 63376

Re: Gorilla Express Auto Wash– Acoustical
 Analysis for a Remodeled Carwash

McClure Engineering No. 142229.000

Dear Mr. Chappel,

We have completed our acoustical analysis for a remodeled Carwash at 7860 Mexico Road St Peters, MO. A summary of our findings is included in this report.

Both the City of St. Peters and St. Charles County noise codes were utilized for this sound study. These noise codes are provided in **Appendix A**. These codes are similar to the residential sound level of 58 to 61 dBA for a set duration, with the sound source operating for 15 minutes. Even though the car wash source operates only when a car enters and exits the wash, the 15-minute daytime sound limit of 61 dBA was used to compare sound level limits.

Project Summary

The sound from a carwash at the proposed location (**Figure 1**) is the primary focus of this sound study. It was determined from on-site noise monitoring that current background sound levels from Mexico Rd are at and above the 62 dBA daytime Sound Level Limit set by St. Peters. The most prevalent sounds produced by the car wash were determined in our acoustical model of the site. Therefore, the sound produced by the car wash without background sound levels has been calculated to estimate the sound level impact on adjacent residents. Our results are summarized in **Table 1**.

Measured sound data and calculated sound maps are provided in **Appendix B**.

Table 1 – Summary of Measured and Calculated Sound Level Results

Measured Property Line Scenario	Distance from Exit Door, Feet	Number of Blowers	Measured SPL Day, dBA
Ambient Sound Level	Loc 1	0	62
Calculated Property Line Scenario			
Sound Level with No Barrier - No Background Sound	East PL 50	10	73

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Sound Level with 12ft. Hgt. Barrier and Barrier in front of Blowers- No Background Sound	East PL 50	10	61
12ft Hgt. Barrier and Barrier in front of Blowers with Background Sound	East PL 50	10	64
Sound Level with 16ft. Hgt. Barrier and Barrier in front of Blowers - No Background Sound	East PL 50	10	59
16ft Hgt. Barrier and Barrier in front of Blowers with Background Sound	East PL 50	10	63

Two (2) sets of sound data were utilized for this study:

1. Background sound levels were taken over five days from June 12 to June 16, 2026, at one (1) location on the proposed site shown in **Figure 1**. The primary purpose of this data is to establish background sound levels for this project site. The hours of operation for the new carwash are to be determined. The relative data for this study is primarily from 7 am to 10 pm during daytime hours. The daytime average sound level was 60 to 63 dBA, with traffic reaching 70 dBA.



Figure 1 – Carwash site with Measurement Locations 1

2. Sound data provided by the blower manufacturer. This data was extrapolated to a sound power level at a point source in the approximate point location of the dryers to create an acoustical model using SoundPlan®.

Our acoustical model indicates that the calculated sound level at the property line at ≈ 50 ft. will be less than 62 dBA with the planned 12 ft barrier wall (shown in **Figure 1**). On occasions, these sounds may be heard but are below the St. Peters Noise Code (**Appendix A**) day-time limits of 58

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to 61 dBA. The estimated background sound levels were 60 to 63 dBA, based on the measured Leq data.

Background Sound Level Measurements

As noted, at times the area can be very active with other environmental sound sources (road noise and local businesses). To quantify the background sound level, a noise monitor was set up at the proposed site for several days. The monitor continuously ran from June 12th to June 16th. The Monitor Location 1 data are provided in **Figure 2**.

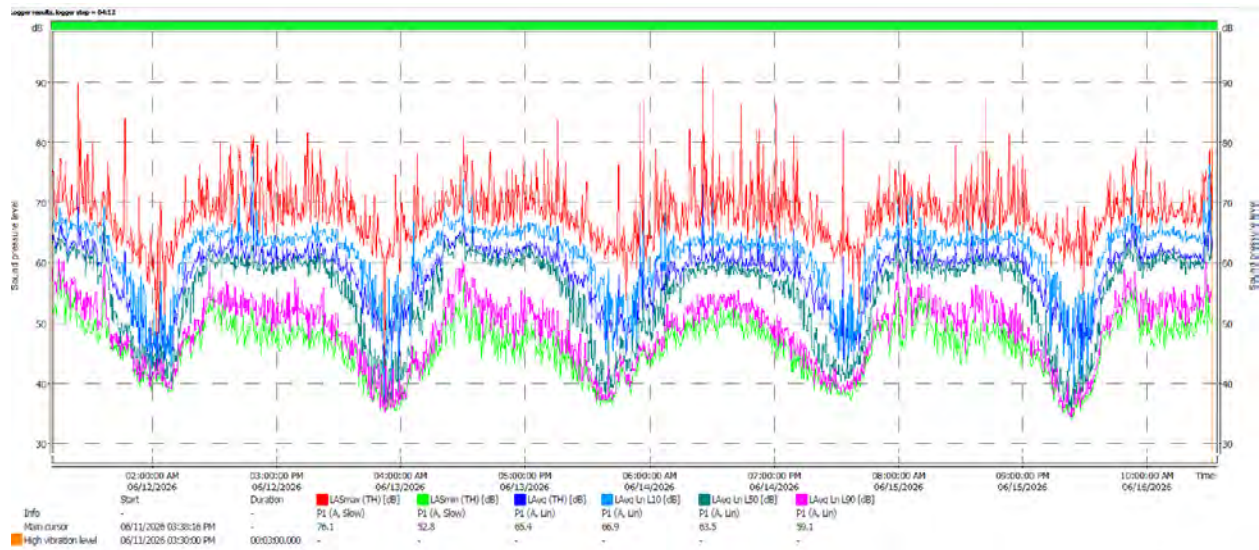


Figure 2 – Property Line Sound Monitor Data- Loc 1 (June 2026)

These sound measurements were primarily obtained to establish background/ambient sound levels.

A SVAN Model 307 (s/n 102955) sound level monitor was used for the measurements. The instrument was capable of recording and storing the following A-weighted quantities for 5-minute time increments of the measurement period:

- 1) Energy equivalent sound level [Leq].
- 2) The maximum sound level [Lmax].
- 3) The sound level exceeded ten percent (10%) of the time [L10].
- 4) The sound level exceeded ninety percent (90%) of the time [L90].

All measurements were A-weighted per ANSI S1.4 and are designated as dBA.

The monitor measured the A-weighted sound levels at the site (**Location 1**) for approximately five (5) days including a full weekend. Eighty percent (80%) of the time, the sound fluctuated between the L10 and L90 curves. The noise floor of the monitors is 30 dBA, and the L90 is 50 to 55 dBA

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during daytime and nighttime hours, with the dominant sound from Mexico Road traffic, which reached 70 dBA.

Carwash Sound Level Measurements

Our measured sound pressure data (SPL) is summarized in **Table 1**. The primary distance from the carwash entrance and exit was 50 ft. The last row in **Table 1** shows the estimated sound level at the property line with a 12 ft. height barrier wall, including background sound levels.

Acoustical Summary

Site visits to other car washes were made to observe the noise environment of the existing car wash. These measurements were obtained to determine sound levels associated with a car wash operation. Sound sources and background sound measurements were collected. The background sound level measured at the current site ranged from 55 to 65 dBA. On-site measurements of the proposed equipment were used in this initial phase of our acoustical analysis and will be used to determine the impact of car wash operations at the proposed locations. This analysis reviewed the sound impact from the car wash operation location shown in **Figure 1, Location2**.

The approximate distance from the car wash exit is 50 ft. We have calculated the sound, and these results are shown in **Table 1**. In addition to the existing sight-proof fence, a new barrier wall will be installed at the new location to mitigate noise and meet St. Peters ordinances, reducing sound impact on neighbors. The sound level values at 50 ft. were calculated and determined to meet the daytime limit with either option provided below.

To meet the 61 dBA daytime limit, two (2) options are available:

- 1) In addition to the 12' barrier wall, it is recommended to add acoustical baffles inside the car wash in front of the blowers, as shown in **Figure 3**. The sound maps in Figure 4 show the calculated sound levels with a 12' Barrier from the carwash, excluding background sound levels. These baffles would be suspended from the roof deck to 8 ft above the finished floor, 4 ft in height by 12 ft in width. It was calculated that an additional 5 dB reduction is expected.

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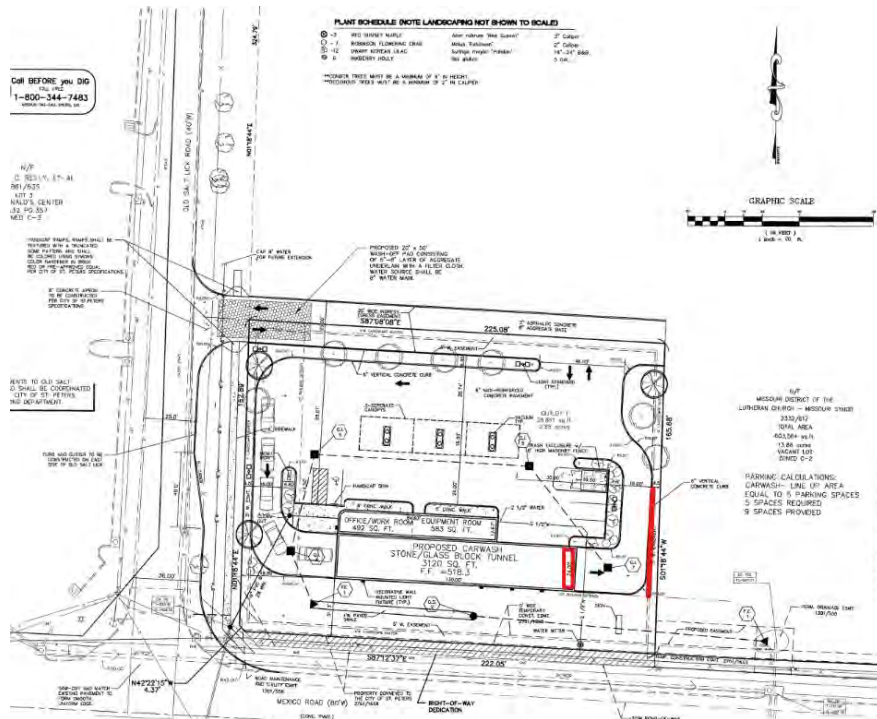


Figure 3 – Location of recommended Baffle Panels inside the carwash.

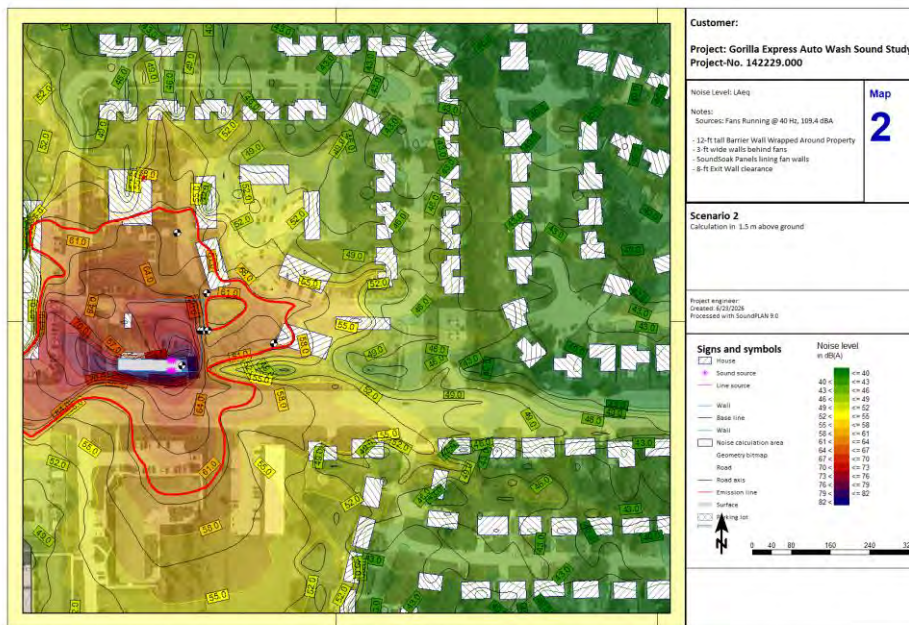


Figure 4 – Sound Map of Carwash site with a 12ft Barrier Wall and Barrier Baffles In Front of Blowers and Without Background Sound.

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Conclusion

Option 1 will be sufficient to meet Sound Levels for day and night limits. With the planned 12 ft. height barrier wall, a 12 dB reduction is expected. An expected 5 dB reduction is expected with the baffles placed in front of the blowers at the carwash exit. The vacuum system was negligible. This sound is below the background sound levels. The estimated sound level at the nearest property line will be at or below 61 dBA Daytime, and the background sound level from the roadway will be a factor.

Please contact me if you have any questions.

Sincerely,

A handwritten signature in black ink that reads "Gary Brown". The signature is written in a cursive style with a large initial "G" and "B".

Gary Brown

Appendix A
St Peters, Missouri

CITY OF ST. PETERS
ARTICLE XI. NOISES

SECTION 210.390: REGULATION OF NOISE LEVELS

A. Definitions. All words used in this Section not defined below shall be in conformance with applicable publication of the American National Standards Institute (ANSI) or its successor body for the purpose of this Section. The following words and phrases are defined and shall be construed as defined below unless it shall be apparent from the context that a different meaning is intended.

A-WEIGHTED SOUND LEVEL: The sound pressure level in decibels as measured on a sound level meter using an A-weighting network. The level so read is designated dBA.

AMBIENT NOISE LEVEL: The A-weighted sound pressure level of all the encompassing noise associated with a given environment, being usually a composite of sounds from many sources.

CODE ENFORCEMENT OFFICER: The City Administrator or his/her duly authorized representative.

DECIBEL (dB): A unit for describing the amplitude of sound, equal to twenty (20) times the logarithm to the base 10 of the ratio of the pressure of the sound measured to the reference pressure, which is twenty (20) micronewtons per square meter.

EMERGENCY WORK: A work performed for the purpose of preventing or alleviating physical trauma or property damage threatened or caused by an existing or imminent peril. Emergency work may also be declared by the City as outlined above.

HOLIDAY: For the purposes of this Section, the following days will be recognized as holidays for the purpose of granting permits to exceed maximum sound level: Memorial Day, Independence Day, Labor Day and December thirty-first (31st).

MUFFLER: An apparatus consisting of a series of chambers or baffle plates designed for the purpose of transmitting gases while significantly reducing sound emanating from such apparatus.

NOISE: Any sound which annoys or disturbs humans or which causes or tends to cause an adverse psychological or physiological effect on humans.

OUTDOOR AMPLIFIED SOUND: Any sound using sound equipment, whose source is outside or whose source is inside and the sound propagates to the outside through open doors or windows or other openings in the building.

PERSON: Any individual, association, partnership or corporation and including any officer, employee, department, agency or instrumentality of the United States, the State of Missouri or any political subdivisions thereof. 2

SLOW RESPONSE: Metering function to be used in measurement of sound for determination of enforcement of the objective noise level limits stated within this Section.

SOUND: An oscillation in pressure, particle displacement, particle velocity or other physical parameter, in a medium with internal forces that cause compression and rarefaction of that medium resulting in air pressure variations perceptible by the human ear. The description of sound may include any characteristic of such sound, including duration, intensity and frequency.

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SOUND LEVEL: The unweighted ("flat") or weighted sound pressure level obtained by the use of a sound level meter and frequency weighting network, such A, B or C as specified in the American National Standards Institute specifications for sound level meters (ANSI S1.4). If the frequency weighting employed is not indicated, the A-weighting shall apply.

SOUND LEVEL METER: Any instrument including a microphone, an amplifier, an output meter and frequency weighting networks for the measurement of sound pressure levels in a specified manner which complies with Type 2 of better standards established in the ANSI S1.4-1971 "Specification for Sound Level Meters".

SOUND PRESSURE LEVEL: Twenty (20) times the logarithms to the base 10 of the ratio of the root mean squared (DBMS) sound pressure to the reference pressure of twenty (20) micronewtons per square meter.

SOUND RECEPTOR: The location or property boundary receiving noise from a sound source.

SOUND SOURCE: The location of property boundary from which a sound emanates.

TIME WEIGHED AVERAGE: For the purposes of enforcement of the allowable noise level limits in this Section, sound level measurements shall be average when possible and appropriate over a two (2), eight (8) or fifteen (15) minute period. The measurement can be manual or by using a sound level meter which includes an ANSI standard integration feature. The proper designation for sound level measurements made using this technique is dBA LEQ (Equivalent Level).

ZONING DISTRICT: Districts established by the zoning ordinances of this City and found in Chapter 405 of the St. Peters City Code.

B. Loud, Unnecessary, Etc., Noises Generally. It shall be unlawful for any person to create or assist in creating, permitting, continuing or permit the continuance of any loud, disturbing or unnecessary noise in the City. Noise of such character, intensity and duration as to be detrimental to the life or health of any individual or to unreasonably disturb or annoy the quiet, comfort or repose of any individual is prohibited. Noises which are the result of legally operating businesses engaged in their normal operations are subject to the objective noise level limits listed in this Section. 3

C. Noises Expressly Prohibited. The following acts, among others, are declared to be loud, disturbing and unnecessary noises in violation of this Section, but such enumeration shall not be deemed to be exclusive:

1. The sounding of any horn or signal device or any device on any automobile, motorcycle, bus or other vehicle while not in motion, except as a danger signal if another vehicle is approaching apparently out of control, or if in motion, only as a danger signal after or as brakes are being applied and deceleration of the vehicle is intended; the creation by means of any such signal device of any unreasonably loud or harsh sound; and the sounding of such device for an unnecessary and unreasonable period of time.
2. The use of any gong or siren upon any vehicle, other than Police, fire or other emergency vehicles.
3. The use or operation of any piano, manual or automatic, phonograph, radio, loudspeaker or any other instrument or sound-amplifying device so loudly as to disturb persons in the vicinity thereof or in such a manner as renders the same a public nuisance.

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4. The use of any automobile, motorcycle or other vehicle so out of repair, so loaded or in such manner as to create loud or unnecessary grating, grinding, rattling or other noise.
5. The blowing of any steam whistle attached to any stationary boiler, except to give notice of the time to begin or stop work or as a warning of danger.
6. The discharge into the open air of the exhaust of any steam engine, stationary internal combustion engine or motor vehicle, except through a muffler or other device which will effectively prevent loud or explosive noises therefrom.
7. The use of any mechanical device operated by compressed air, unless the noise created thereby is effectively muffled and reduced.
8. Construction or demolition related activity in any zoning district which results in a sound level created thereby in a residential zoning district in excess of 65 dbA (A-weighted sound pressure level), when the noise emitted is measured at the nearest residential property line to the property upon which the noise source is located, other than between the hours of:
 - a. 6:30 A.M. to 6:00 P.M. on weekdays during the months of June, July and August;
 - b. 7:00 A.M. to 6:00 P.M. on weekdays during the remaining months of the calendar Year;
 - c. 8:00 A.M. to 6:00 P.M. on Saturday; and
 - d. 9:00 A.M. to 6:00 P.M. on Sunday; 4

provided this shall not apply in the case of urgent necessity or in the interest of public safety and shall not be construed as limiting or precluding the repair, maintenance or construction of public facilities of the State, County or municipal governments or such public or quasi-public municipal corporations as may be established under the Constitution or laws of the State of Missouri; the repair, maintenance or construction of private utility facilities.

9. The creation of loud and excessive noise in connection with loading or unloading any vehicle or the opening and destruction of bales, boxes, crates and containers.
10. The sounding of any bell or gong attached to any building or premises which disturbs the quiet or repose of persons in the vicinity thereof.
11. The shouting and crying of peddlers, barkers, hawkers and vendors which disturbs the quiet and peace of the neighborhood.
12. The use of any mechanical loudspeakers or amplifiers on trucks or other moving vehicles for advertising purposes or other purposes.
13. The conducting, operating or maintaining of any garage or filling station in any residential district so as to cause loud or offensive noises to be emitted therefrom between the hours of 11:00 P.M. and 7:00 A.M.
14. Except as otherwise provided in Section 537.294, RSMo., the firing or discharging of any gun, squibs, crackers, gunpowder or other combustible substances in the streets or elsewhere for the purpose of making noise or disturbance.
15. The use or operation of any motor vehicle, any mechanically operated device or internal combustion engine operated by fuel or electric power in any race or event, unless the noise created thereby is effectively muffled and reduced by the use of a three (3) chamber muffler or other device such that the noise does not exceed a noise level of 93 dbA (A-weighted sound pressure level) when the noise emitted is measured upon property which is located in a different land use category than the property upon which the noise source is located; provided this applies

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to the total noise from a vehicle or combination of vehicles and shall not be construed as limiting or precluding the enforcement of any other provisions of this Section relating to motor vehicle mufflers for noise control.

16. The use, operation or permitting to be played, used or operated any radio-receiving set, musical instrument, phonograph, loudspeaker, sound amplifier or other machine or device for the producing or reproducing of sound which is broadcast from the public streets for the purpose of commercial advertising or attracting the attention of the public to any building or structure that is determined to be excessive based upon the criteria set out in this Section.

17. Prolonged yelling, shouting, hooting or whistling on the public streets, particularly between the hours of 10:30 P.M. and 7:00 A.M. or at any time or place so as to annoy or disturb the quiet, comfort or repose of persons of reasonable sensitivity in any office, dwelling, hotel or other type of residence or of any persons in the vicinity. 5

18. The keeping of any animal or bird on residential premises that causes frequent or long continued noise which disturbs the comfort or repose of any persons in the vicinity.

19. Collection of solid waste in residential areas or commercial areas adjacent to residential areas between the hours of 7:00 P.M. to 6:00 A.M. Monday through Friday and 6:00 P.M. to 7:00 A.M. Saturday or collect solid waste on Sunday.

D. *Enforcement Factors.* In the enforcement of standards established in this Section, the Code Enforcement Officer may be required to exercise judgment in determining if a particular noise is sufficiently loud or otherwise so offensive that it would unreasonably disturb other persons in the vicinity. When making such determinations, the Code Enforcement Officer shall consider the following factors:

1. The intensity (sound pressure level) of the noise.
2. Whether the nature of the noise is usual or unusual.
3. Whether the origin of the noise is natural or manmade.
4. The volume and intensity of the background noise, if any.
5. The proximity of the noise in residential sleeping facilities during the sleeping hours of 10:30 P.M. to 7:00 A.M.
6. The nature and zoning of the area within which the noise emanates.
7. The time of the day or night along with the day of week and time of year the noise occurs.
8. The duration of the noise.
9. Whether the noise is recurrent, intermittent or constant.

E. *Measurement Methodology.* This Section describes acceptable methods of techniques for the measurement and reporting of noise for the purpose of determining compliance with the allowable noise levels listed above.

1. *Measurement location.* Measurement of sound must be made at the front building line on the property of the noise receptor.
2. *Calibration.* All sound level measuring devices must be calibrated by a certified agency or the City.
3. Sound level measurement shall be made with a sound level meter using the A-weighting scale set on "slow" response. 6

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4. Sound level meters shall be at least Type S1A meeting American National Standard Institute (ANSI S1.4-1971 requirements). Persons using the sound levels shall be trained in sound level measurement and the operation of sound level measurement equipment.

5. *Measurement procedures.* The following procedures must be followed to obtain representative sound level measurements.

a. Measurement location must be at least three (3) feet above the ground and not more than ten (10) feet above ground.

b. Measurement shall be taken in location on receptor property with line of sight to the noise source if possible.

c. Measurements made in sustained winds over ten (10) knots may be subject to review and considered not valid. Precipitation or other sounds which result in a difference of less than 10 dBA between the background or ambient noise level and the noise source being measured may also invalidate measurements.

d. Measurements must be made with the sound level meters set for "A" weighting and "slow" response.

e. Measurements are to be made when possible and appropriate to the noise source over a two (2), eight (8) or fifteen (15) minute period with the sound level meter in the "averaging" or Leq mode or manual observations. Measurements should be made over a continuous period, unless a transient event which is easily identified, such as an aircraft overflight, occurs. In this case, the averaging period may be paused for the duration of the transient event and the measurement restarted when the transient event sound level is 10 dBA below the noise source being measured.

6. *Date documentation.* A record of all sound level measurements must be completed and signed by the person making the measurements. The record sheet should include:

a. Date.

b. Time of measurement.

c. Location (street address if possible).

d. Noise source.

e. Wind speed and direction (measured, estimate or from airport or weather service records).

f. Temperature (if readily available).

g. Humidity (if readily available). 7

h. Make, model and serial number of sound level meter, date of last certification/calibration.

i. Field calibration results.

j. Ambient (background) noise level.

k. Name of complainant (if available).

F. Objective Noise Standards. In addition to the subjective standards established above, it shall be presumed that the allowable noise level limits have been violated whenever any noise or sound is projected from one property in the City onto another if such sound, measured at the front building line on the property receiving the sound, exceeds the following decibel standards at a location appropriate to determine the level of disturbance. When the noise emitted is measured upon property which is located in a different land use category than the property upon which the stationary noise source is located, the levels applicable to the property where

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the noise emitted is measured shall be used to determine if a violation exists. Objective Noise Standards--Allowable Levels			
15 min	8 min		2 min
In residentially zoned districts: 7:00 A.M. to 10:30 P.M. 10:30 P.M. to 7:00 A.M.	59--61 dB 54--56 dB	62--64 dB 57--59 dB	68--70 dB 63--65 dB
In commercially zoned districts: 7:00 A.M. to Midnight Midnight to 7:00 A.M.	69--71 dB 64--66 dB	72--74 dB 67--69 dB	78--80 dB 73--75 dB
In industrially zoned districts: 7:00 A.M. to Midnight Midnight to 7:00 A.M.	74--76 dB 74--76 dB	77--79 dB 77--79 dB	83--85 dB 83--85 dB
Multi-family structures shall have the same noise limits between units as for single-family or detached dwellings, as measured at any point in the interior of the sound receptor residential unit with windows closed.			

Appendix B

Measured Sound Levels of Car Wash Operation And Sound Level Maps

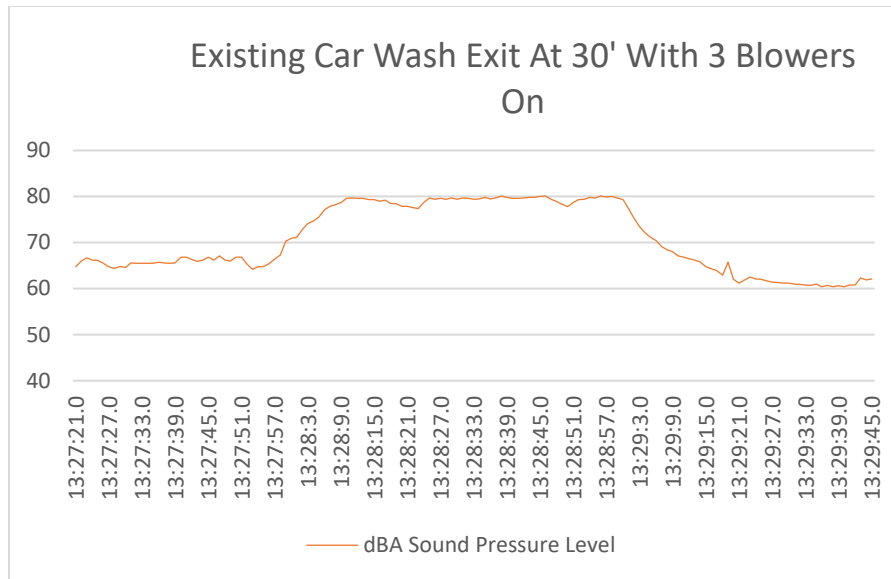


Figure B1—Measured Sound Level of Existing Car Wash 3 Blowers On At 30 ft. from Exit.

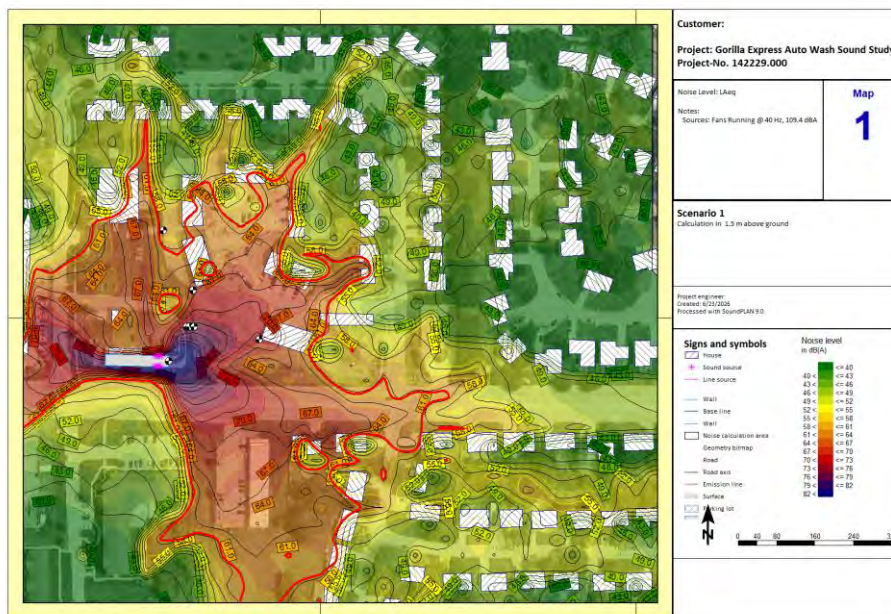


Figure B2—Estimated Sound Level of Car Wash 10 Blowers On without Acoustic Mitigation.



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Everhome Suites Overall Perspective

ST. PETERS, MO

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The images provided throughout this package are a representation of the current design intent only. The images may not reflect variations in color, tone, hue, line shading, ambient light intensity, materials, texture, contrast, font style and construction variations required by building codes or inspectors, material availability or final design detailing. All images and artwork associated/provided should be reviewed by the client with their print and/or production vendors and adjusted as needed during the proof and shop drawing submittals. Those client approved drawings take precedence and provide final direction for design, printing and production.

01

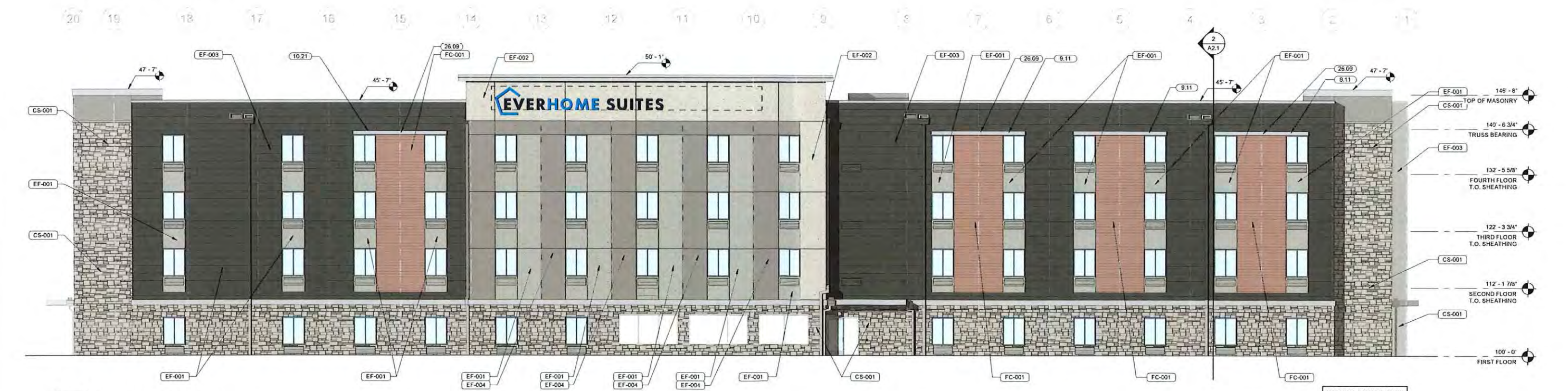
07/03/2024

KEYNOTES		FINISH KEYNOTES	
Tag	Keynote Description	Tag	Keynote Description
5.08	METAL TRELLIS	CS-001	CULTURED STONE - EL DORADO "GRAND BANKS LIMESTONE"
9.11	EFS BUMP OUT ACCENT BAND, REF A500	EF-001	LONGITUDE24 BY EL DORADO STONE - SW 2850 "SILENT GREY"
10.21	WOOD FRAMED WINDOW BAND	EF-002	EFS - SW 7056 "RESERVED WHITE"
11.05	BUILDING SIGNAGE UNDER SEPARATE PERMIT. PROVIDE BLOCKING AND COORDINATE LOCATION AND CONNECTION REQUIREMENTS POWER WITH SIGNAGE VENDOR	EF-003	LONGITUDE24 BY EL DORADO STONE "FOGGY MEADOW"
		EF-004	EFS - SW 9163 "TIN LIZZIE"
26.09	EXTERIOR LIGHTING, REF MEP	FC-001	FIBER CEMENT - NICHHA VINTAGEWOOD "SPRUCE"



2 FRONT ELEVATION
1/8" = 1'-0" REF: A1.2 / 1

MATERIAL PRECENTAGES	
STONE	51%
EFS	35%
FIBER CEMENT	11%



1 REAR ELEVATION
1/8" = 1'-0" REF: A1.2 / 1

MATERIAL PRECENTAGES	
STONE	56%
EFS	33%
FIBER CEMENT	11%



EVERHOME SUITES EXTERIOR ELEVATIONS
ST. PETERS, MO

DESIGN REPRESENTATION ONLY AND NOT FOR CONSTRUCTION
This drawing is a representation of the proposed design and is not a contract document. It is subject to change without notice. The contractor shall be responsible for verifying all dimensions and conditions on site. The architect shall not be responsible for any errors or omissions in this drawing.

A2.0

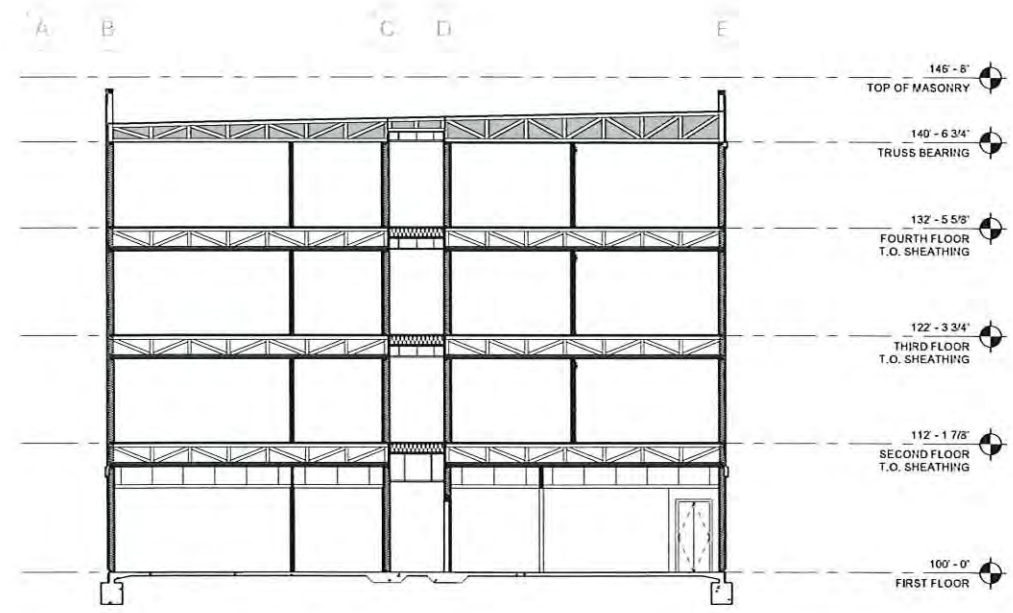
KEYNOTES	
Tag	Keynote Description
5.08	METAL TRELLIS

FINISH KEYNOTES	
Tag	Keynote Description
CS-001	CULTURED STONE - EL DORADO "GRAND BANKS LIMESTONE"
EF-001	LONGITUDE24 BY ELDORADO STONE - SW 2550 "SILENT GREY"
EF-002	EIFS - SW 7056 "RESERVED WHITE"
EF-003	LONGITUDE24 BY ELDORADO STONE "FOGGY MEADOW"
EF-004	EIFS - SW 9163 "TIN LIZZIE"
FC-001	FIBER CEMENT - NICHHA VINTAGEWOOD "SPRUCE"

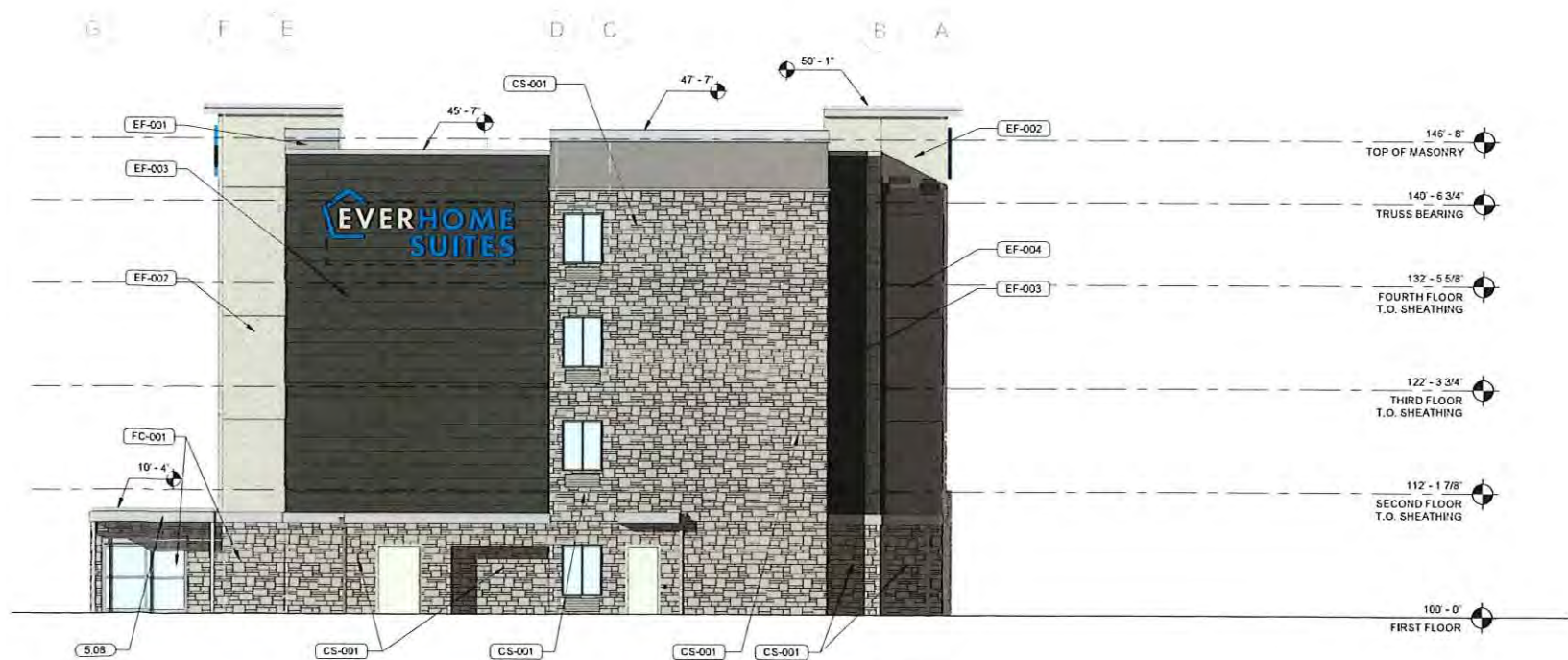


3 LEFT ELEVATION
1/8" = 1'-0" REF: A1.2 / 1

MATERIAL PERCENTAGES	
STONE	78%
EIFS	22%



2 BUILDING SECTION
1/8" = 1'-0" REF: A1.1 / 1



1 RIGHT ELEVATION
1/8" = 1'-0" REF: A1.2 / 1

MATERIAL PERCENTAGES	
STONE	78%
EIFS	22%



EVERHOME SUITES EXTERIOR ELEVATIONS
ST. PETERS, MO

DESIGN REPRESENTATION ONLY - NOT FOR CONSTRUCTION
This drawing is a preliminary representation of the proposed design and is not intended to be used for construction. It is subject to change without notice. The client is responsible for obtaining all necessary permits and approvals. The architect is not responsible for any errors or omissions in this drawing.

A2.1
06/21/2024

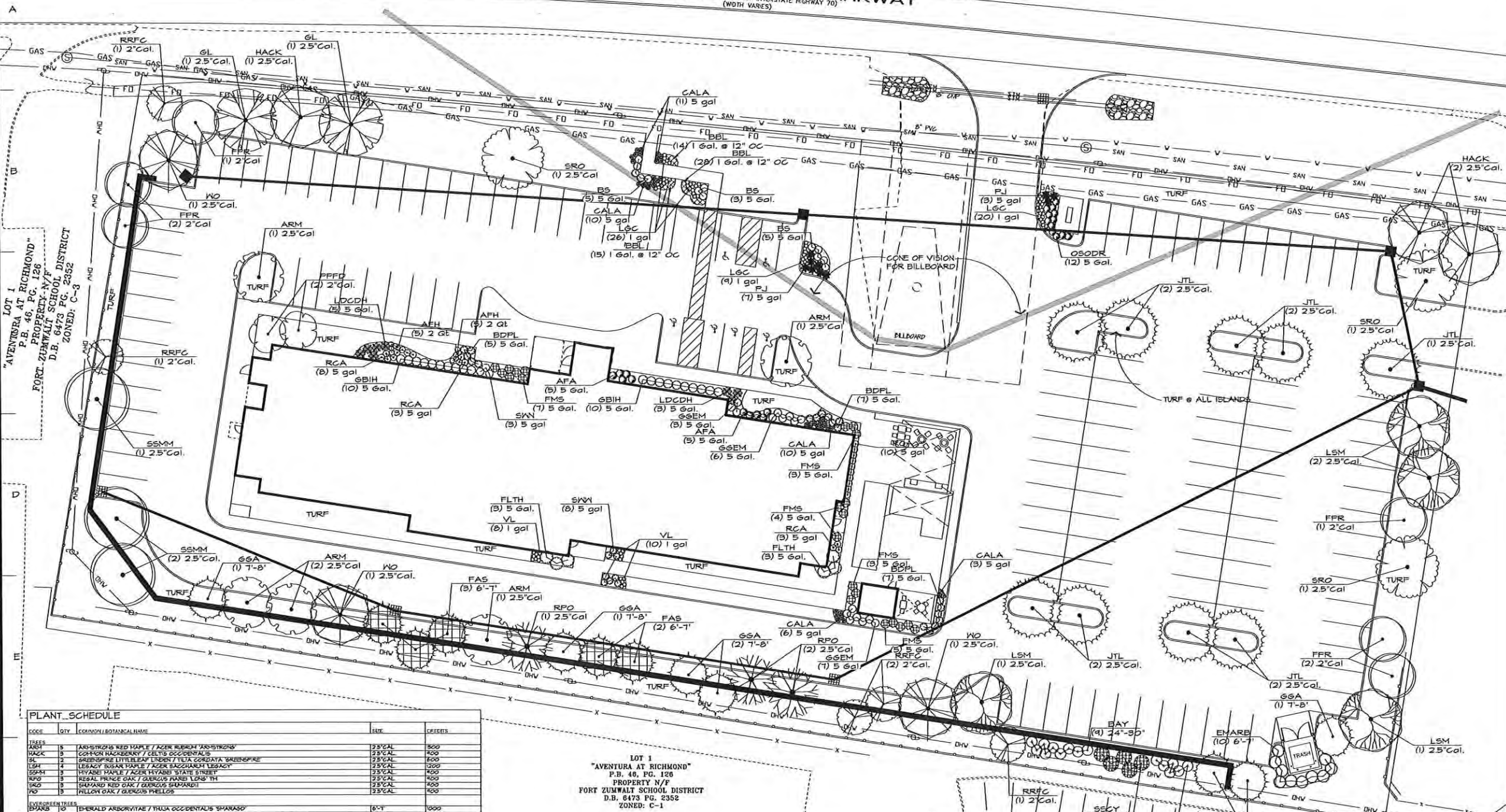
VETERANS MEMORIAL PARKWAY
(AKA SOUTH OUTER ROAD OF INTERSTATE HIGHWAY 70)
(WIDTH VARIES)

REVISIONS BY	DATE
1/30/2024	RWH

Landscaping TECHNOLOGIES
 81 Jackson Creek Drive
 St. Charles, Missouri 63304
 630-266-1100
 MISSOURI PROFESSIONAL CORPORATION #2000000102
 DATE: 1/30/2024

PLANTING PLAN FOR THE PROPOSED
Everhome Suites
 7870 VETERANS PARKWAY SAINT PETERS, MISSOURI 63376

DRAWN BY: R. HANCOCK
 CHECKED BY: R. HANCOCK
 DATE: 1/1/2024
 SCALE: 1"=20'-0"
 JOB NO: 2024-125
 SHEET: L-1
 OF TWO SHEETS



PLANT SCHEDULE

CODE	QTY	COMMON / BOTANICAL NAME	SIZE	CREDITS
TREES				
AKA	5	AMSTROUS REED MAPLE / AZEK RUBEN 'ARD-STROUS'	25" CAL	500
HACK	2	COMMON HACKBERRY / CELTIS OCCIDENTALIS	25" CAL	400
BL	2	BREZINSPINE LITTLELEAF LINDEN / TILIA GORDATA 'GREENSPINE'	25" CAL	800
LEG	4	LEGACY SWEET PEARL / AZEK SAGGARDEN 'LEGACY'	25" CAL	200
SMH	3	HYABE MAPLE / AZEK HYABE STATE STREET	25" CAL	400
NO	3	REGAL PRINCE OAK / QUERCUS PRINCE 'LONS' TH	25" CAL	400
NO	3	REHMAN REED OAK / QUERCUS REHMANI	25" CAL	400
PO	3	PILLON OAK / QUERCUS PHELLOS	25" CAL	400
EVERGREEN TREES				
SHAN	10	SHERALD ANSORVIYAE / TILIA OCCIDENTALIS 'SHANARD'	6'-1"	500
FAS	5	FAY ALBERT SPICE / TILIA ALBERTI	6'-1"	500
GSA	1	GAZEN 6' ANI ANSORVIYAE / TILIA PLICATA 'GREEN 6' ANI'	7'-8"	400
SOY	5	SOFT SERVE GOLD BARKED CYPRESS / CHAMPECYKAS 'PISPERA FANRUCYKAS'	7'-8"	500
LANDSCAPE TREES				
JTL	4	JULY BILK JAPANESE TREE ELIAG / SYZONIA REGULATA 'JULY BILK'	25" CAL	200
WHP	2	WHEAT BRAN FLOWERS BOSSWOOD / CORNUS FLORIDA 'WHEAT BRAN'	25" CAL	400
RRFC	1	ROYAL RANDERS FLOWERS GRASS / TRILIS X ROYAL RANDERS'	25" CAL	1000
SHRUBS				
AVA	10	AUTUMN PINE AZALEA / AZALEA X NOBLETH TH	5 GAL	500
BL	4	BLOOMERS DIVING PURPLE LILAC / SYRIZA X SHIRAZI TH	5 GAL	150
FLTH	4	FLIGHT LIGHT HYDRANGEA / HYDRANGEA PANGOLATA 'SHIRAZI' TH	5 GAL	300
FRS	22	FRESH HAZE SPREESPIRE / TILIA VIRGINICA 'POZY HAZE'	5 GAL	440
GBH	20	GREEN BOXWOOD HULLY / LEXY SEABEA 'DEPT BOX'	5 GAL	500
GSEM	6	GREEN SEM BOXWOOD / BUXUS X GREEN SEM	5 GAL	420
LRDZH	6	LET'S DANCE ZAN DO HYDRANGEA / HYDRANGEA KAZORPHYLLA X BERRATA 'LET'S DANCE CAN DO'	5 GAL	420
SKY	15	NOBLEMAN BAYBERRY / MYRTICA HENSTAYCA	25" CAL	1500
RJ	10	PRODIGIOUS JUNIPER / JUNIPERUS PRODIGIOSUS 'NANA'	5 GAL	300
ROSE	24	ROSE CREEK ABELIA / ABELIA X GRANDIFLORA 'ROSE CREEK'	5 GAL	360
SPK	6	SPRINKLER LITTLELEAF BOXWOOD / BUXUS MICROPHYLLA 'BULHOUSE'	5 GAL	240
BS	3	BURNER PINE NEEDLEBARK / PRYSCARUS OPLIDULUS 'BURNER PINE'	5 GAL	150
GRASSES				
FO	40	FOURSTERS REED GRASS / CALAMAGROSTIS ACUTIFOLIA 'KARL FOURSTER'	15 GAL	400
DO	12	DOSO EASY DOUBLE ROSE / ROSA X DOSO EASY DOUBLE ROSE	15 GAL	48
ANNUALS/PERENNIALS				
APH	10	AUTUMN PRIST ROSA / ROSA X 'AUTUMN PRIST'	2 QT	80
LEG	18	LITTLE GOLD STAR CORNFLOWER / HELIOPSIS FILIFIDA 'LITTLE GOLDSTAR'	1 GAL	72
VL	6	VANEGATED LILAC / LIRIOPE MUSCARI 'VANEGATA'	1 GAL	54
BIOSOL				
BI	1	BI6 BLUE LILYTURP / LIRIOPE MUSCARI 'BI6 BLUE'	1 GAL @ 12" CAL	228

TOTAL CREDITS REQUIRED = 12808
 TOTAL CREDITS PROPOSED = 22805

LOT 1
 "AVENTURA AT RICHMOND"
 P.B. 46, PG. 126
 PROPERTY N/F
 FORT ZUMWALT SCHOOL DISTRICT
 D.B. 6473 PG. 2352
 ZONED: C-1

NOTE:
 ALL TURF AREAS AND LANDSCAPING TO BE MAINTAINED PER CITY REQUIREMENTS BY PROPERTY OWNER.
 LANDSCAPE TO COMPLY WITH CHAPTER 830 - TREE AND LANDSCAPE REQUIREMENTS & OBTAIN COMPLIANCE APPROVAL.
 ALL SHADE TREES TO BE MINIMUM 1.5" GALIPER
 ALL ORNAMENTAL TREES TO BE MINIMUM OF 6' TALL
 ALL EVERGREEN TREES TO BE A MINIMUM OF 5' TALL

LANDSCAPE CALCULATIONS:
 - TOTAL SITE AREA = 123,821.66 Sq. Ft. or 2.84 ACRES
 - TOTAL BUILDING FOOTPRINT AREA = 14,763 Sq. Ft. or 0.339 ACRE (6.76% OF SITE)
 - TOTAL OPEN SPACE = 109,058.66 Sq. Ft. or 2.50 ACRES (88% OF LOT)
 - LANDSCAPING @ PARKING LOTS: ONE TREE PER FOUR SPACES IS REQUIRED
 TOTAL SPACES = 132 + 6 HC SPACES; THEREFORE, THIRTY FIVE (35) TREES ARE REQUIRED/PROPOSED
 - TOTAL OPEN SPACE = 109,058.66 SQ. FT.
 - TOTAL OPEN SPACE + TOTAL LOT SQ. FT. = 88% OF SITE, REQUIRES 10% OF THE TOTAL LOT REQUIRED. 10% OF TOTAL SITE SQ. FT. OR 12,383 CREDIT POINTS; 22,665 CREDIT POINTS ARE PROPOSED (SEE SCHEDULE ON THIS SHEET)

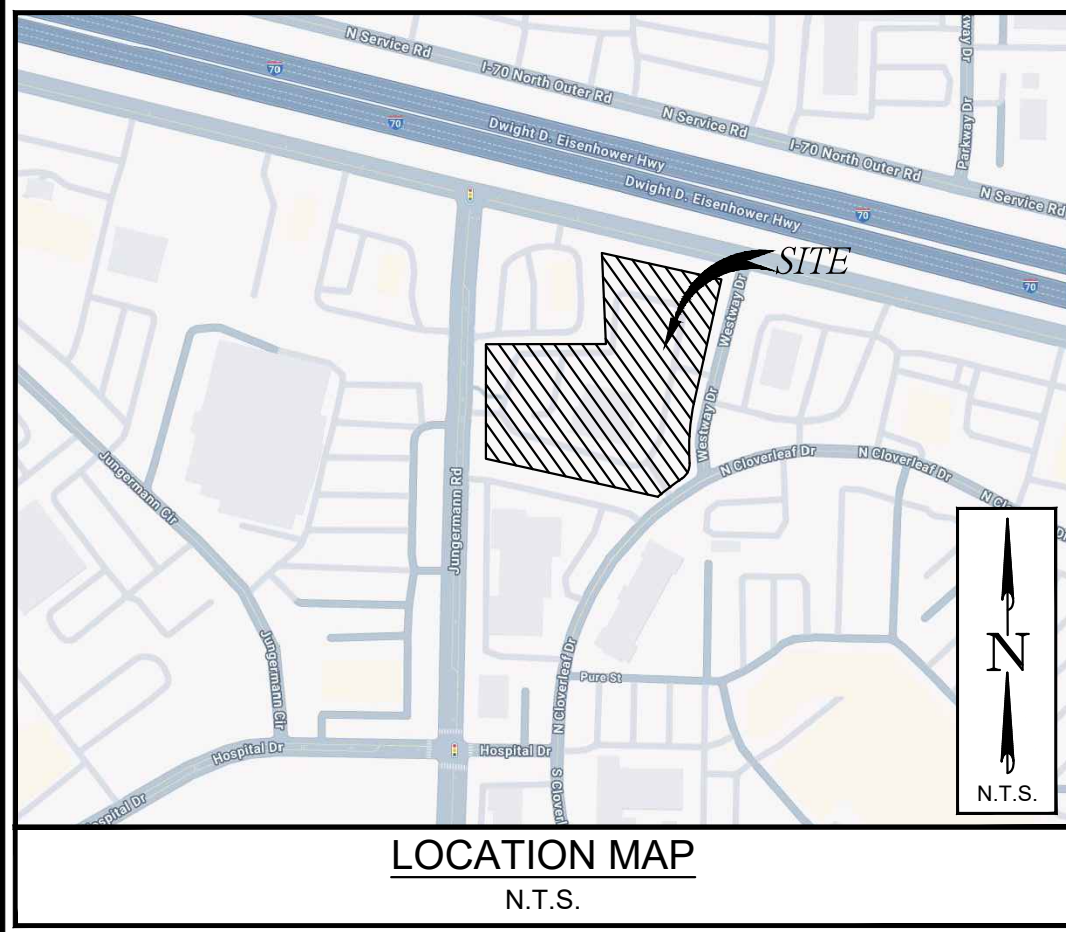
NOTE:
 ALL SHRUBS/PERENNIALS TO BE MAINTAINED @ 24" MAXIMUM HEIGHT WITHIN SIGHT TRIANGLE AREAS



IMPROVEMENT PLAN

BAUCOM'S LIFE CELEBRATION CENTER

LOT 2 OF CLOVERLEAF WEST PLAT 1 AND LOT 3 OF CLOVERLEAF WEST PLAT 2
CITY OF ST. PETERS, ST. CHARLES COUNTY, MISSOURI



- DEVELOPMENT NOTES:**
- ADDRESS: 4189 VETERAN MEMORIAL PARKWAY ST. PETERS, MO 63376
 - DEVELOPER / OWNER: BAUCOM'S LIFE CELEBRATION & CREMATION CENTER-ST. CHARLES LLC
9480 LEWIS AND CLARK BLVD JENNINGS, MO 63138
CONTACT: KELVIN BAUCOM
314-741-2444
kbaucomfd@aol.com
 - AREA OF TRACT: 2.61 ACRES
 - AREA OF DISTURBANCE: 0.93 ACRES
 - CURRENT ZONING: C-3
 - PROPOSED USE: PLACE OF WORSHIP FOR FUNERAL CEREMONIES
 - C-3 ZONING DIMENSIONAL REQUIREMENTS:

MAXIMUM LOT COVERAGE:	NONE
MINIMUM FRONT YARD:	30 FEET
MINIMUM SIDE YARD:	15 FEET, UNLESS ADJACENT TO RESIDENTIAL, THEN 20 FEET
MINIMUM REAR YARD:	25 FEET, UNLESS ADJACENT TO RESIDENTIAL, THEN 30 FEET
 - PROPOSED DEVELOPMENT TO BE SERVED BY:

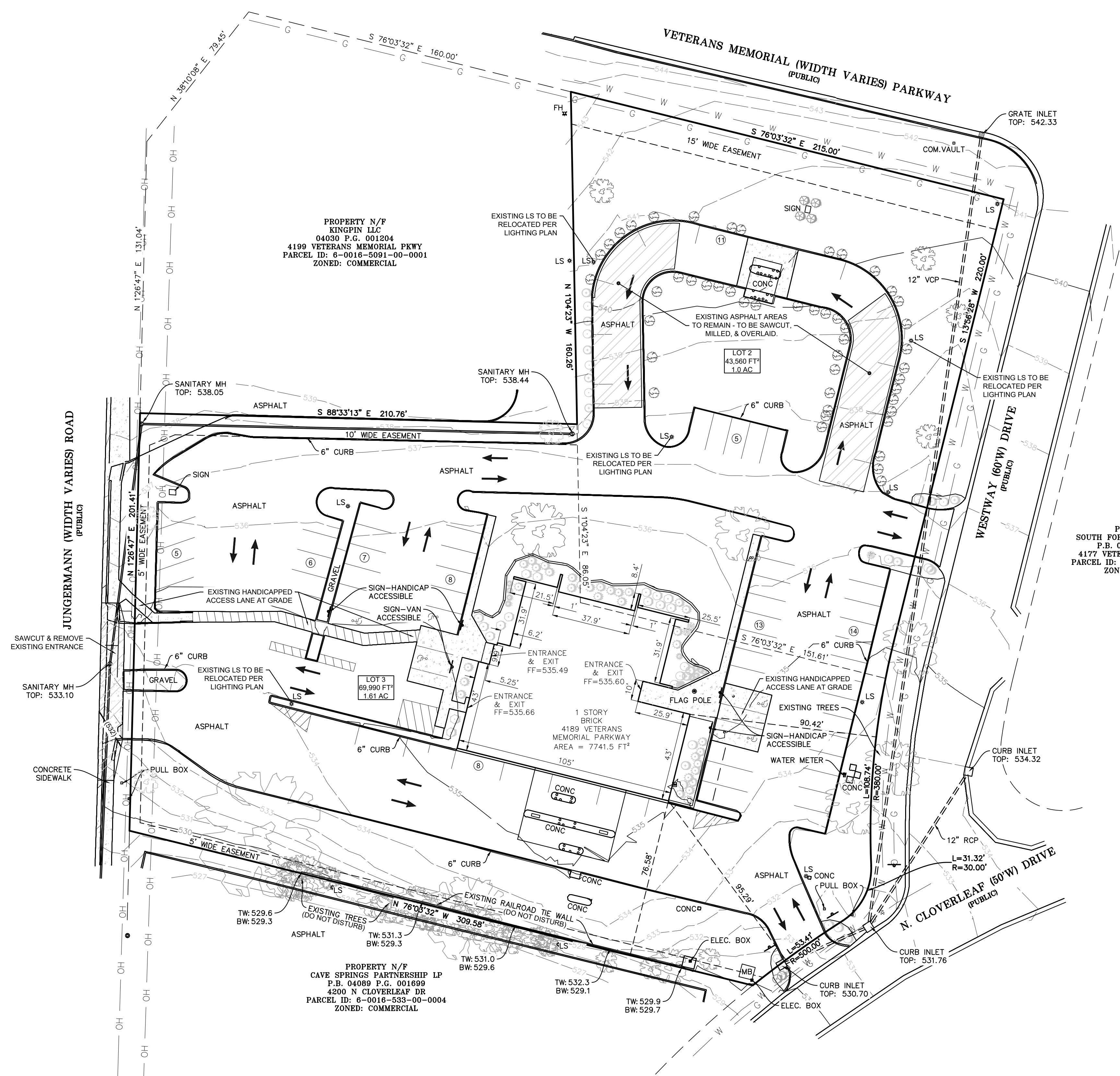
WATER -	MISSOURI AMERICAN WATER CO	636-922-9164
SEWER -	DUCKETT CREEK SEWER DISTRICT	636-441-1244
TELEPHONE -	ATT DISTRIBUTION	636-949-1320
GAS -	SPIRE MO EAST	800-887-4173
ELECTRIC -	AMEREN MISSOURI ELECTRIC	314-277-1827
FIRE -	CENTRAL COUNTY FIRE PROTECTION DISTRICT	636-970-9700
SCHOOL -	ST. CHARLES SCHOOL DISTRICT	636-443-4000
 - ALL PROPOSED UTILITIES TO BE LOCATED UNDERGROUND.
 - ACCORDING TO THE FIRM FLOOD INSURANCE RATE MAP 29183C0451G DATED FEBRUARY 20, 2016, THIS DEVELOPMENT IS LOCATED IN ZONE X - AN AREA OF MINIMAL FLOOD HAZARD.
 - OPEN SPACE CALCULATIONS:

TOTAL SITE:	113,551 SQ. FT.	(2.607 AC.)
EXISTING BUILDING:	7,710 SQ. FT.	
EXISTING PAVEMENT:	59,755 SQ. FT.	
EXISTING OPEN SPACE:	46,086 SQ. FT.	(1.058 AC.) (40.6%)
PROPOSED BUILDING:	11,425 SQ. FT.	
PROPOSED PAVEMENT:	68,515 SQ. FT.	
PROPOSED OPEN SPACE:	33,616 SQ. FT.	(0.772 AC.) (29.6%)
 - PROJECT 15 YEAR, 20 MINUTE STORM RUNOFF DIFFERENTIAL:

EXISTING SITE:	(1.55 AC. x 3.54) + (1.06 AC. x 1.70) = 7.29 CFS
PROPOSED SITE:	(1.94 AC. x 3.54) + (0.77 AC. x 1.70) = 7.82 CFS
RUNOFF DIFFERENTIAL:	+0.53 CFS
 - ALL SIGNAGE TO BE PERMITTED SEPARATELY.
 - BENCHMARK: R.R. SPIKE AT INTERSECTION OF NORTH LINE OF SUBJECT PROPERTY AND THE EAST LINE OF JUNGERMANN ROAD. U.S.G.S. NAD 83 ELEVATION = 538.02
 - TRASH ENCLOSURE SHALL BE MASONRY TO MATCH/COMPLEMENT THE BUILDING.
 - ROOFTOP MECHANICAL EQUIPMENT SHALL BE SCREENED ON ALL SIDES.
 - THIS SITE WILL COMPLY WITH THE STORMWATER MANAGEMENT REQUIREMENTS IN CHAPTER 550
 - THIS SITE WILL COMPLY WITH THE GRADING REQUIREMENTS IN CHAPTER 530
 - THIS SITE WILL COMPLY WITH THE TREE AND LANDSCAPE REQUIREMENTS IN CHAPTER 535

LAND DESCRIPTION
A TRACT OF LAND BEING ALL OF LOT 2 OF CLOVERLEAF WEST PLAT 1 AND ALL OF LOT 3 OF CLOVERLEAF WEST PLAT 2

- CITY OF ST. PETERS NOTES**
- ALL ON-SITE TRASH, LITTER, DISCARDED BUILDING MATERIALS, OTHER CONSTRUCTION SITE WASTES, AND DEBRIS, EITHER EXISTING OR FROM CONSTRUCTION, MUST BE REMOVED AND PROPERLY DISPOSED OF OFF-SITE.
 - DEBRIS AND FOUNDATION MATERIAL FROM ANY EXISTING ON-SITE BUILDING OR STRUCTURE WHICH IS SCHEDULED TO BE RAZED FOR THIS DEVELOPMENT MUST BE PROPERLY DISPOSED OF OFF-SITE.
 - CONTRACTOR SHALL PROVIDE SUFFICIENT TEMPORARY TOILET FACILITIES TO SERVE THE NUMBER OF WORKERS ON THE SITE.
 - A PRE-CONSTRUCTION CONFERENCE MUST BE SCHEDULED WITH THE DIRECTOR OF DEVELOPMENT REVIEW PRIOR TO THE START OF EACH CONSTRUCTION PHASE OF LAND DISTURBANCE ACTIVITY. THE PERMITEE WILL BE RESPONSIBLE FOR NOTIFYING ALL CONTRACTORS, UTILITY CREWS, AND OTHER ENTITIES THAT WILL PERFORM WORK AT THE SITE TO BE IN ATTENDANCE.
 - CONTRACTOR SHALL PROVIDE DUST CONTROL, AS DETERMINED BY THE CITY INSPECTOR.
 - THE CHIEF INSPECTOR OF THE CITY OF ST. PETERS SHALL BE NOTIFIED A MINIMUM OF 24 HOURS PRIOR TO THE COMMENCEMENT OF STREET, SEWER, AND/OR UTILITY CONSTRUCTION.
 - THE OWNER OR DEVELOPER OF ANY PROPOSED COMMERCIAL OR INDUSTRIAL PROPERTY MUST PLANT TREES ALONG ALL STREETS THAT THE SAID DEVELOPMENT HAS FRONTAGE ON. THE TREES SHALL BE PLANTED AT A MAXIMUM SPACING OF SIXTY (60) FEET AND SHALL BE LOCATED ON OR PARALLEL TO THE RIGHT-OF-WAY, NOT SET BACK MORE THAN TEN (10) FEET FROM THE PROPERTY LINE, SUBJECT TO APPROVAL BY THE CITY. TREE SPECIES AND PLANTING MUST CONFORM TO THE GUIDELINES DETAILED IN THE "ARBORICULTURAL SPECIFICATIONS MANUAL". ALL TREES PLANTED MUST MAINTAIN A VIGOROUS STATE.

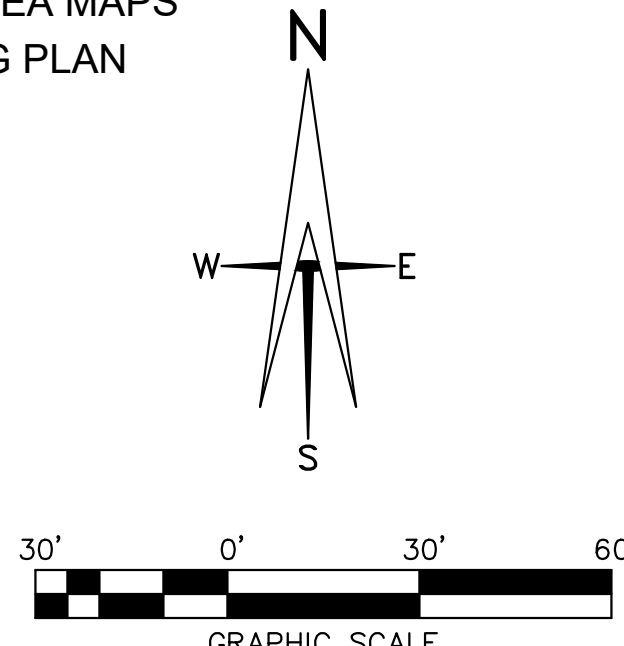


SITE PLAN AND ZONING NOTES

- PARKING:**
ST. PETERS MUNICIPAL CODE SECTION 405.555
MORTUARIES: 1 SPACE FOR EVERY 4 SEATS PLUS 1 SPACE FOR EVERY 250 SQUARE FEET OF GROSS FLOOR AREA (PUBLIC SPACE ONLY)
- NUMBER OF SEATS:
VISITATION 129: 60 SEATS MAX
VISITATION 110: 54 SEATS MAX
GALLERY 112: 368 SEATS MAX
TOTAL: 472 SEATS
- PARKING FOR SEATS:
472 SEATS / 4 = 118 PARKING SPACES
- PUBLIC SPACE:
VENDED KITCH 106: 213 SF
OFFICE 132: 234 SF
OFFICE 137: 236 SF
OFFICE 120: 140 SF
CONFERENCE 127: 315 SF
COLUMBARIUM LNG 103: 281 SF
COLUMBARIUM 104: 351 SF
FAMILY ROOM 124: 242 SF
PRIVATE LOUNGE 130: 279 SF
TOTAL: 2,291 SF
- PARKING FOR PUBLIC SPACE:
2,291 SF / 250 = 9.16 PARKING SPACES (ROUNDED TO 9)
- TOTAL REQUIRED PARKING:
118 + 9 = 127 REQUIRED SPACES
- REQUIRED ACCESSIBLE PARKING:
ACCESSIBLE: 3 SECTION 405.559 (J)(2)
VAN ACCESSIBLE: 2 SECTION 405.550 (A)(1)
TOTAL: 5
- PROVIDED PARKING:
STANDARD PARKING: 123
ACCESSIBLE: 3
VAN ACCESSIBLE: 2
TOTAL: 128 PROVIDED SPACES

SHEET INDEX:

- COVER SHEET & EXISTING CONDITIONS
- SITE PLAN
- GRADING PLAN
- STORMWATER POLLUTION PREVENTION PLAN
- SWPPP DETAILS
- DRAINAGE AREA MAPS
- LANDSCAPING PLAN



LEGEND:

EX. SANITARY SEWER	TOP OF FOUNDATION
PROP. SANITARY SEWER	FINISHED FLOOR
EX. STORM SEWER	BASEMENT FLOOR
PROP. STORM SEWER	CONCRETE
EX. WATER LINE	TOP ELEVATION
PROP. WATER LINE	FLOW LINE ELEVATION
TELEPHONE LINE	TO BE REMOVED
FIBER-OPTIC LINE	& REPAIRED
GAS LINE	USE IN PLACE
OVERHEAD ELECTRIC	ADJUST TO GRADE
UNDERGROUND ELECTRIC	TO BE ABANDONED
FENCE LINE	TYPICAL
TREE LINE	EXISTING
	CLEAN OUT
	DOWN SPOUT
	MINIMUM
	RADIUS
	PARKING SPACE
	EXPANSION JOINT
	SIGN
	LIGHT
	TRAFFIC CONTROL BOX
	BORHOLE
	FLAGPOLE
	HANDICAP PARKING SPACE
	MAILBOX
	ELECTRIC PEDESTAL
	ELECTRIC METER
	CABLE PEDESTAL
	WIRE PEDESTAL
	GUY WIRE
	CLEANOUT
	PARKING METER
	BOLLARD
	IRRIGATION CONTROL VALVE
	FLARED END

UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING AND/OR CONSTRUCTION OF IMPROVEMENTS.

Call BEFORE you DIG
TOLL FREE
1-800-344-7483
MISSOURI ONE-CALL SYSTEM, INC.

ENGINEER'S AUTHENTICATION
THE RESPONSIBILITY FOR THE PROFESSIONAL ENGINEERING LIABILITY ON THIS PROJECT IS HEREBY LIMITED TO THE SET OF PLANS AUTHENTICATED BY THE SEAL, SIGNATURE AND DATE HEREUNDER ATTACHED. RESPONSIBILITY IS DISCLAIMED FOR ALL OTHER ENGINEERING PLANS INVOLVED IN THE PROJECT AND SPECIFICALLY EXCLUDES REVISIONS AFTER THIS DATE UNLESS REAUTHENTICATED.

IMPROVEMENT PLAN SUBMITTAL

05/20/2026

IMPROVEMENT PLAN

BAUCOM'S

LIFE CELEBRATION CENTER

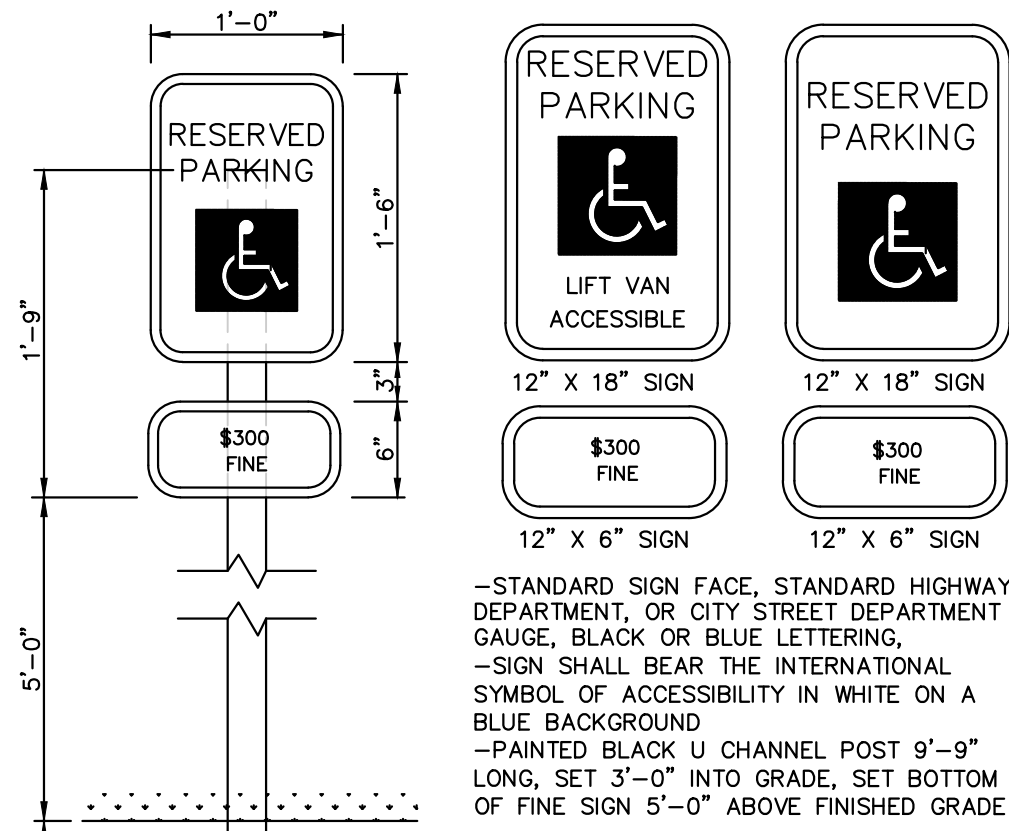
COVER & EXISTING CONDITIONS

ST. CHARLES ENGINEERING & SURVEYING, INC.
801 S. FIFTH STREET, SUITE 202
ST. CHARLES, MO 63301
TEL: (636) 947-0607 FAX: (636) 947-2448

ST. CHARLES ENGINEERING AND SURVEYING, INC.
PROFESSIONAL ENGINEERING AND LAND SURVEYING CORPORATION
MISSOURI STATE CERTIFICATE OF AUTHORITY - 001847 & 800379

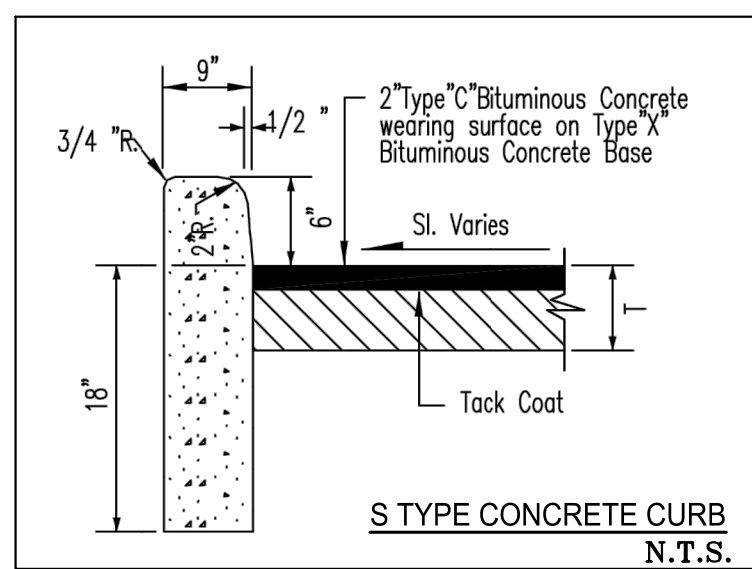
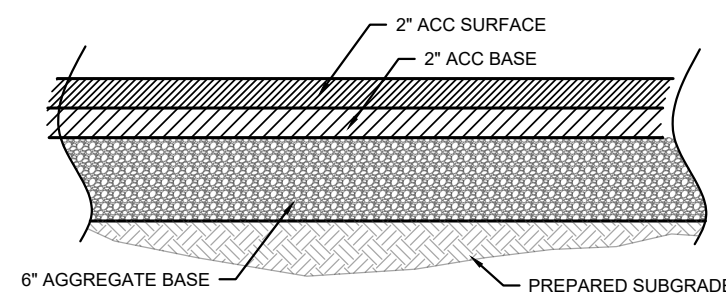
MICHAEL NEVEL MEMBERS
NO. 22483

ORDER NO.
2023042
DATE
05/20/2026
1

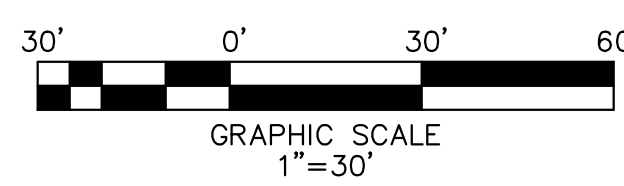
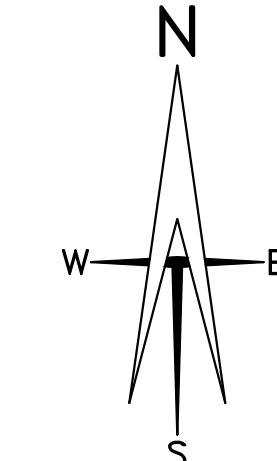
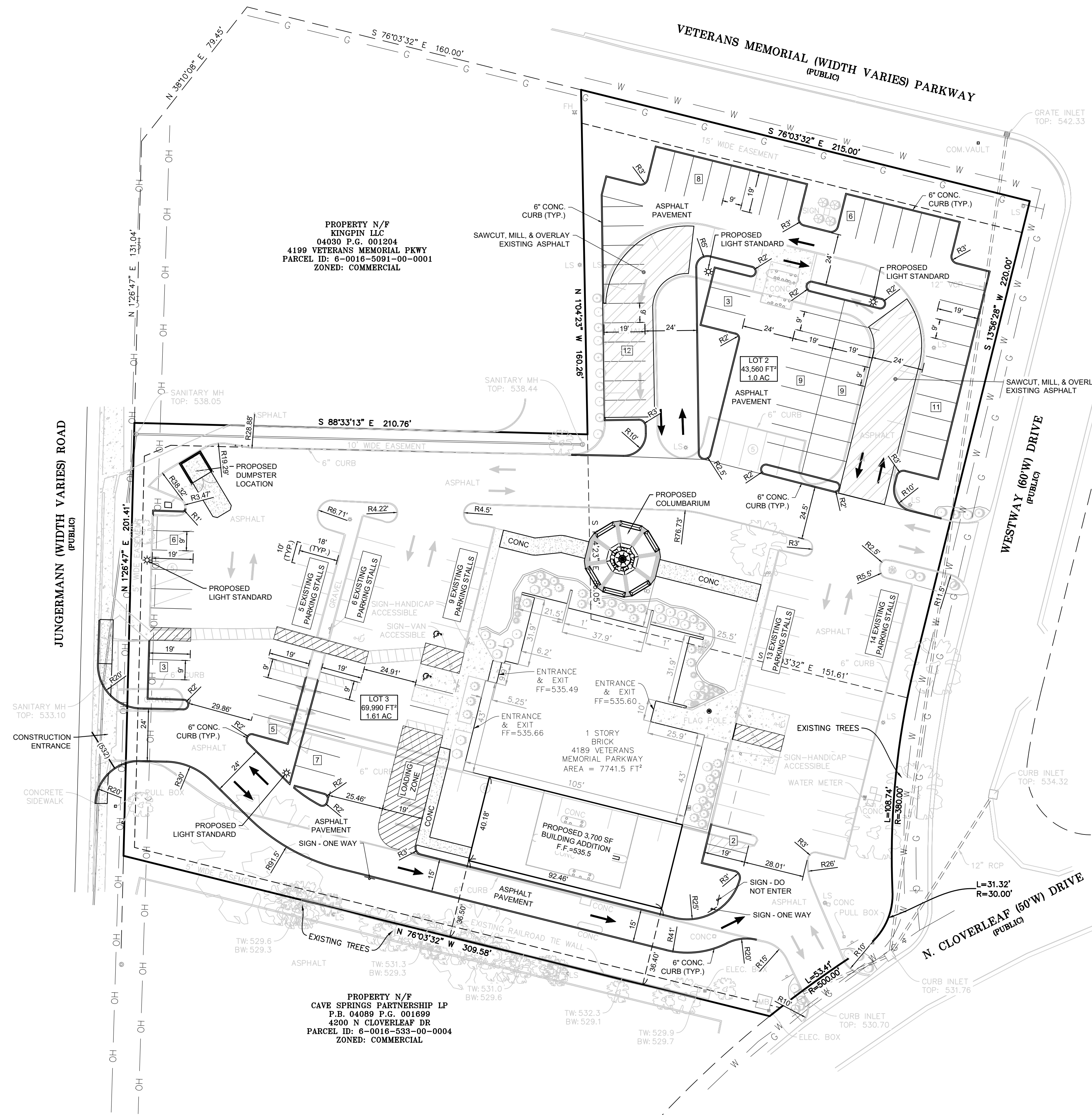
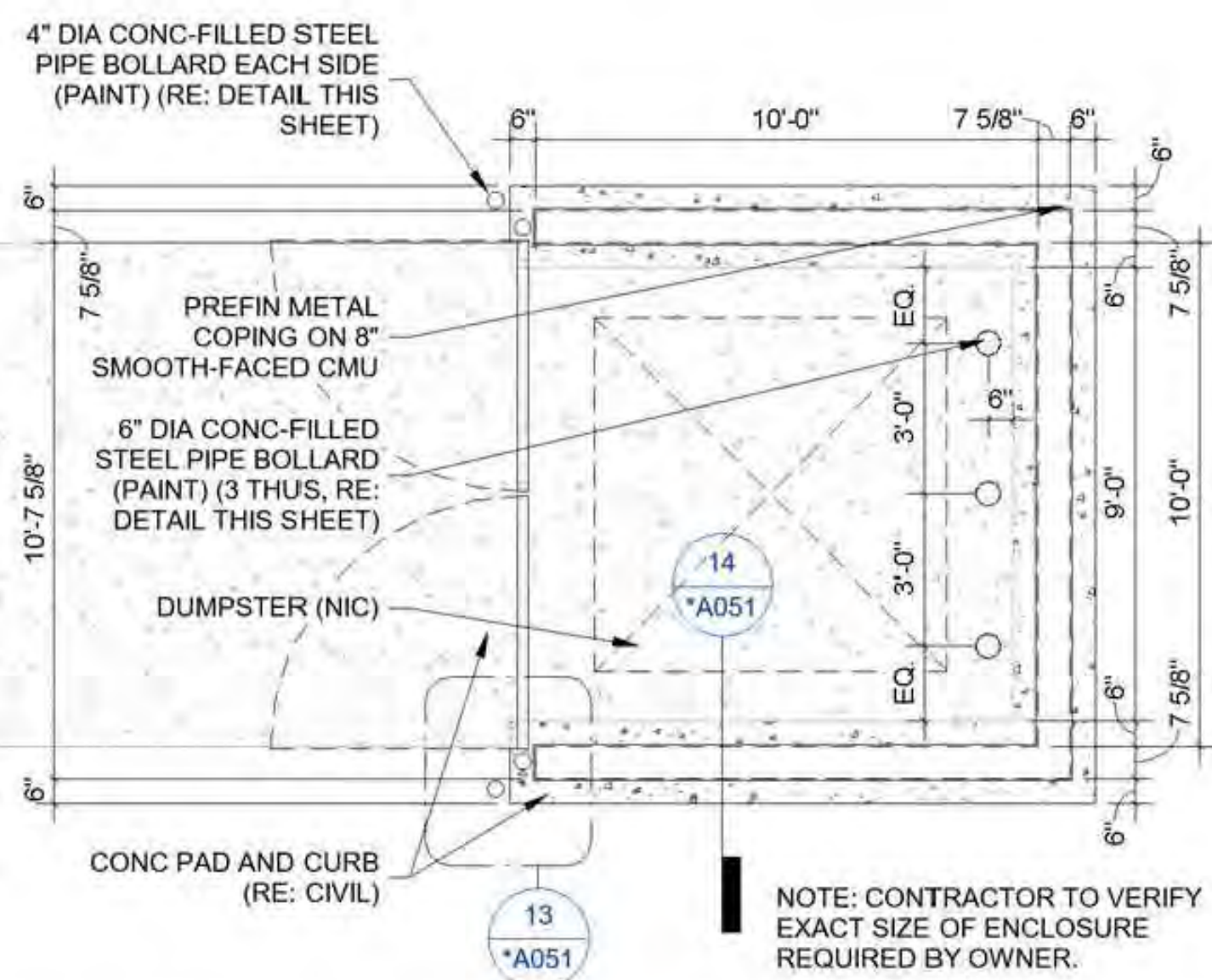


- PROVIDE ONE SIGN PER HANDICAPPED SPACE.
- NO STEPS AT BUILDING ENTRANCES.
- PROVIDE RAMPS OR DROP CURBS AT HANDICAPPED SPACES.
- PROVIDE 60"x60" AREA OUTSIDE ENTRANCE FOR WHEELCHAIR MANUEVERABILITY.

HANDICAP PARKING SIGN DETAIL
N.T.S.

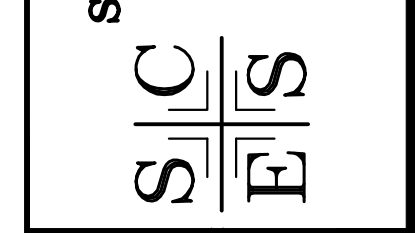


NOTE: ALL NON-REINFORCED CONCRETE SHALL BE 4,000 P.S.I. AT 28 DAYS.



IMPROVEMENT PLAN
BAUCOM'S
LIFE CELEBRATION CENTER
SITE PLAN

ST. CHARLES ENGINEERING & SURVEYING, INC.
801 S. FIFTH STREET, SUITE 202
ST. CHARLES, MO 63301
TEL: (636) 947-0607 FAX: (636) 947-2448
ST. CHARLES ENGINEERING AND SURVEYING, INC.
PROFESSIONAL ENGINEERING AND SURVEYING CORPORATION
MISSOURI STATE CERTIFICATE OF AUTHORITY - 001647 & 000379



ORDER NO.
2023042
DATE
05/20/2026

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GRADING NOTES:

- AREA OF TRACT: 2.61 ACRES
- AREA OF DISTURBANCE: 0.93 ACRES
- PROJECT 15 YEAR, 20 MINUTE STORM RUNOFF DIFFERENTIAL:
 - EXISTING SITE: (1.55 AC. x 3.54) + (1.06 AC. x 1.70) = 7.29 CFS
 - PROPOSED SITE: (1.84 AC. x 3.54) + (0.77 AC. x 1.70) = 7.82 CFS
 - RUNOFF DIFFERENTIAL: +0.53 CFS
- THIS SITE WILL COMPLY WITH THE GRADING REQUIREMENTS IN CHAPTER 530
- THE CITY OF ST. PETERS SHALL BE PROVIDED WITH A COPY OF THE GRADING COMPACTION TEST RESULTS.

EARTHWORK QUANTITY ESTIMATE:

CUT TO FINISHED GRADE: +173 CUBIC YARDS
 FILL TO FINISHED GRADE: -265 CUBIC YARDS (15% FILL FACTOR)
 NET TO FINISHED GRADE: -93 CUBIC YARDS (HILL/SHORT)

PAVEMENT SUBGRADE: 8,760 SF x 11" / 27 = +297 CY
 BUILDING SUBGRADE: 3,700 SF x 8" / 27 = +91 CY
 NET TO SUBGRADE: +389 CY

TOTAL: -93 + 389 = +298 CY (HEAVY)

THE ABOVE CALCULATED QUANTITIES OF EARTHWORK ARE BE REGARDED AS AN ESTIMATE OF THE BULK MOVEMENT OR REDISTRIBUTION OF SOILS ON THE SITE AND SHOULD BE CONSIDERED AS SUCH. THESE QUANTITIES ARE INTENDED FOR GENERAL USE, AND THE ENGINEER ASSUMES NO LIABILITY FOR COST OVERRIDES DUE TO EXCESS EXCAVATED MATERIALS, SHORTAGES OF FILL, REMOVAL OF UNSUITABLE MATERIALS OFFSITE. IT IS THE GRADING CONTRACTOR'S RESPONSIBILITY TO PREPARE A QUANTITY TAKEOFF AND NOTE ANY DISCREPANCIES TO THE ENGINEER.

THE QUANTITIES ESTIMATED FOR EACH OF THE IMPROVEMENT ITEMS LISTED ABOVE ARE BASED UPON THE HORIZONTAL AND VERTICAL LOCATION OF THE IMPROVEMENTS AS PROPOSED ON THE SITE ENGINEERING PLANS PREPARED BY ST. CHARLES ENGINEERING & SURVEYING, INC.

THE ENGINEER'S EARTHWORK ESTIMATE DOES NOT INCLUDE ANY OF THE FOLLOWING ITEMS REQUIRING EARTHWORK THAT MAY BE NECESSARY FOR COMPLETION OF THE PROJECT: MISCELLANEOUS UNDERGROUND CONDUITS, INCLUDING SEWER LINES AND WATER MAINS; SEWER STRUCTURES; PROCESS OR TRANSFER PIPING; ELECTRICAL OR TELEPHONE CONDUITS; BASES FOR LIGHT STANDARDS OR OTHER STRUCTURES; BUILDING FOOTINGS AND FOUNDATIONS, ETC.

THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACTUAL SIZE OF THE FIELD EXCAVATIONS MADE FOR THE INSTALLATION OF UNDERGROUND STRUCTURES, AND AS SUCH, THE ACTUAL QUANTITIES OF EARTHWORK FROM SUCH ITEMS MAY VARY FROM THE ESTIMATE SHOWN ABOVE.

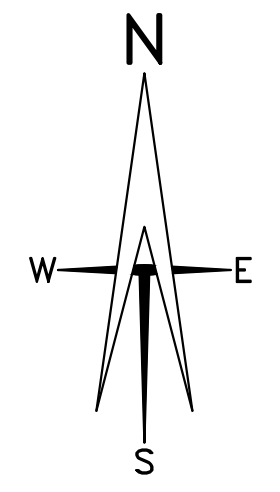
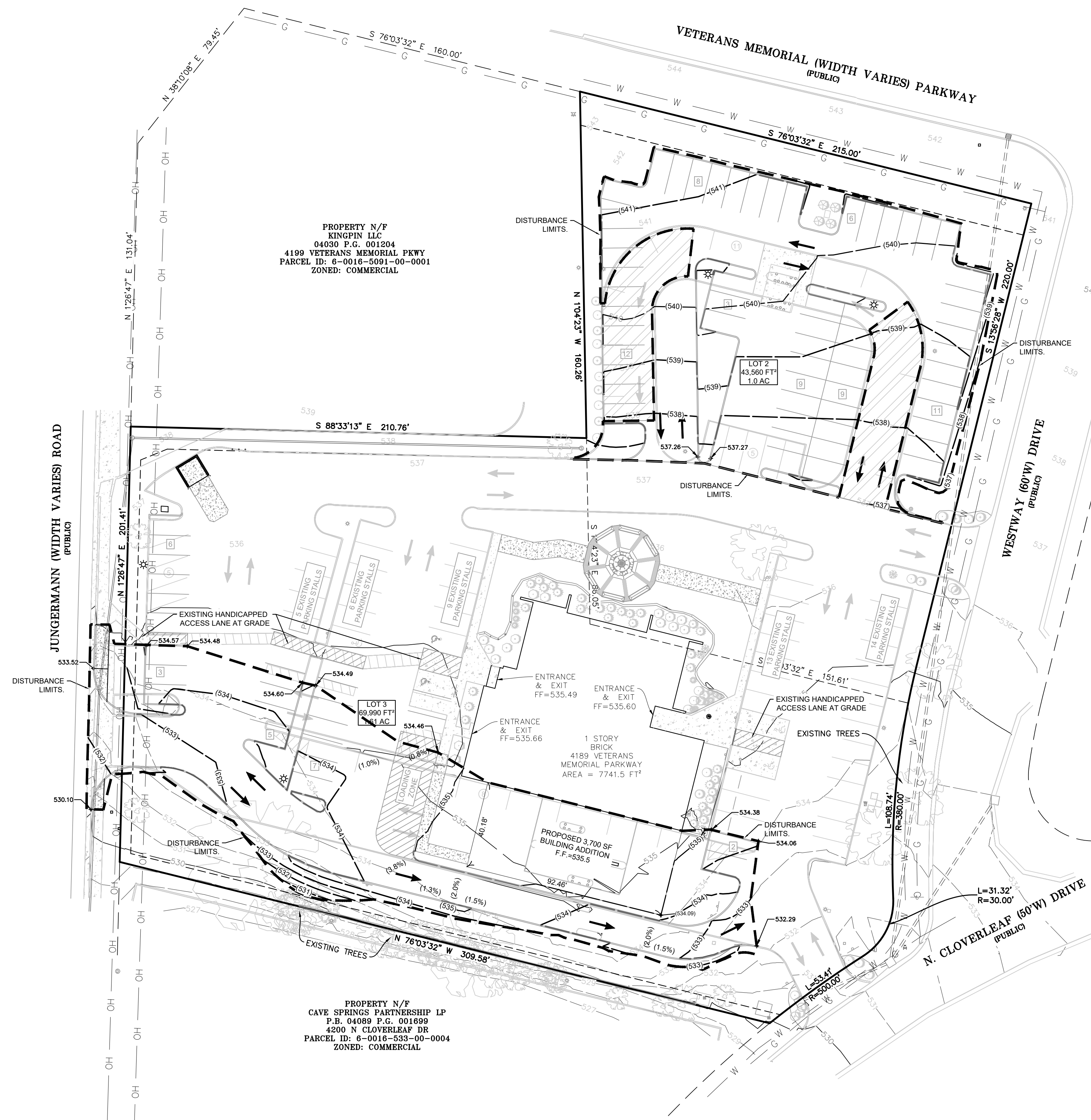
EXCESS MATERIAL TO BE SPREAD "LOST" ON-SITE AND WILL NOT BE HAULED OFF OF THE SITE.

SEQUENCE OF ACTIVITIES

Construction sequence will generally be as follows:

- Installation of 1 construction entrance; Temporary
- Clearing and grubbing for areas necessary for installation of perimeter control
- Installation of perimeter control per plans; Temporary
- Installation of sediment basins and traps per plans;
- Remaining clearing and grubbing;
- Site grading;
- Utility installation;
- Installation of BMPs to protect any storm drains installed; Temporary
- Final seeding and stabilization.
- All temporary BMP's may be removed once all construction is complete and final seeding and stabilization are established.

Changes to the sequence of construction operations may be modified by the person conducting the land disturbing activity or their representative and do not constitute a violation unless measures to control storm water runoff and sediment are not utilized.



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Call BEFORE you DIG
 TOLL FREE
 1-800-344-7483
 MISSOURI ONE-CALL SYSTEM, INC.

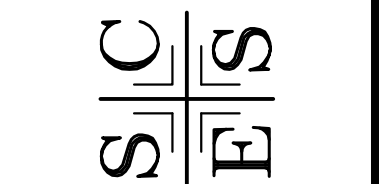
ENGINEER'S AUTHENTICATION

THE RESPONSIBILITY FOR THE PROFESSIONAL ENGINEERING LIABILITY ON THIS PROJECT IS HEREBY LIMITED TO THE SET OF PLANS AUTHENTICATED BY THE SEAL, SIGNATURE AND DATE HEREUNDER ATTACHED. RESPONSIBILITY IS DISCLAIMED FOR ALL OTHER ENGINEERING PLANS INVOLVED IN THE PROJECT AND SPECIFICALLY EXCLUDES REVISIONS AFTER THIS DATE UNLESS REAUTHENTICATED.

IMPROVEMENT PLAN
BAUCOM'S
LIFE CELEBRATION CENTER
 GRADING PLAN

ST. CHARLES ENGINEERING & SURVEYING, INC.
 801 S. FIFTH STREET, SUITE 202
 ST. CHARLES, MO 63301
 TEL: (636) 947-0607 FAX: (636) 947-2448

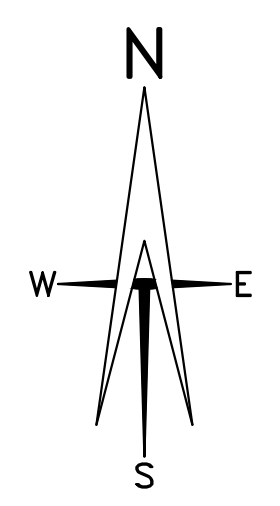
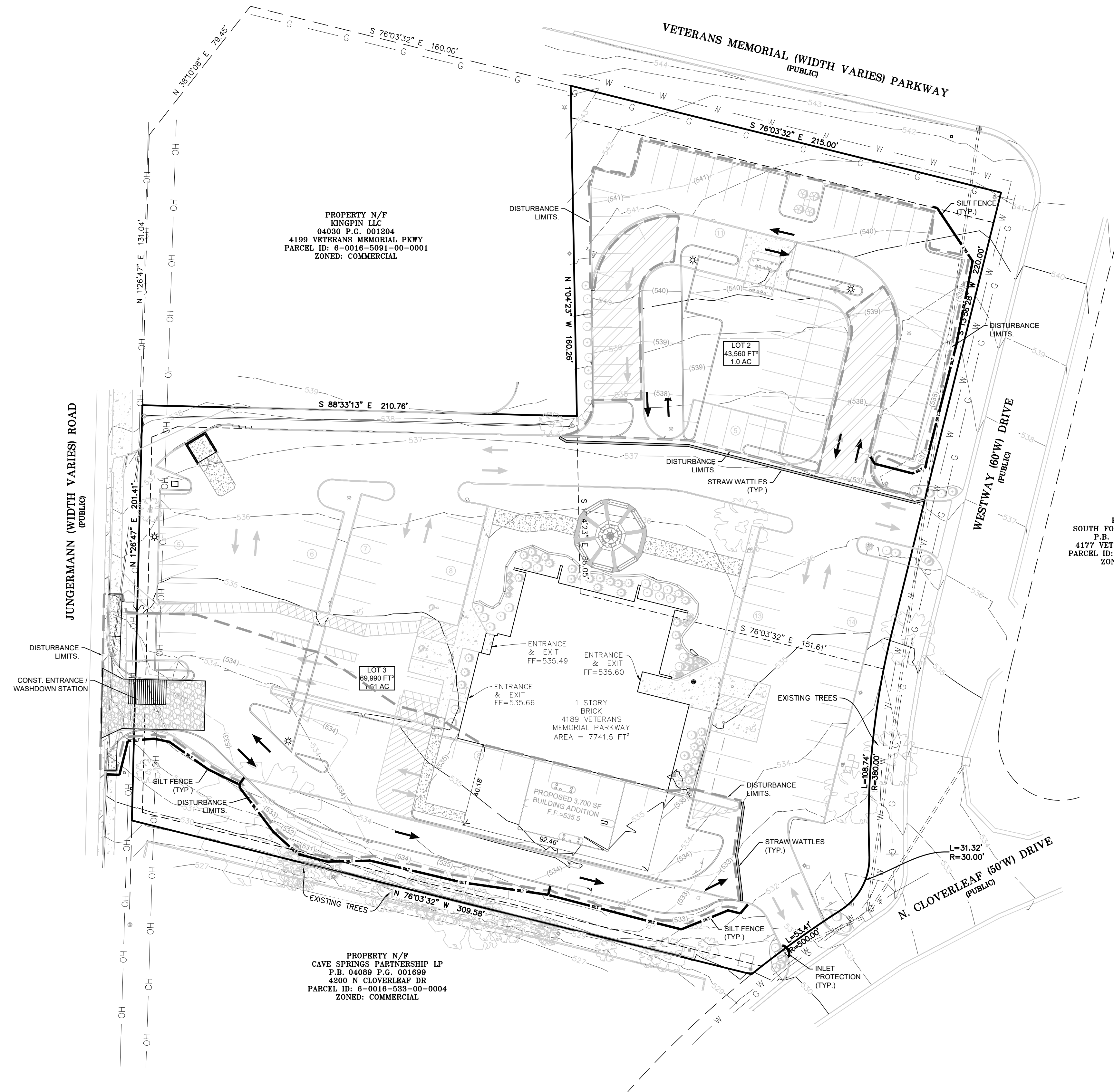
ST. CHARLES ENGINEERING AND SURVEYING, INC.
 PROFESSIONAL ENGINEERING AND LAND SURVEYING CORPORATION
 MISSOURI STATE CERTIFICATION OF AUTHORITY - 001647 & 000379



ORDER NO.
 2023042

DATE
 05/20/2026

3



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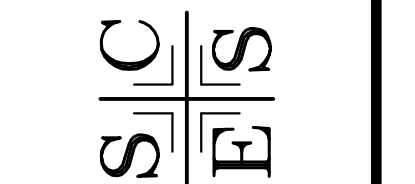
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IMPROVEMENT PLAN SUBMITTAL
 05/20/2026

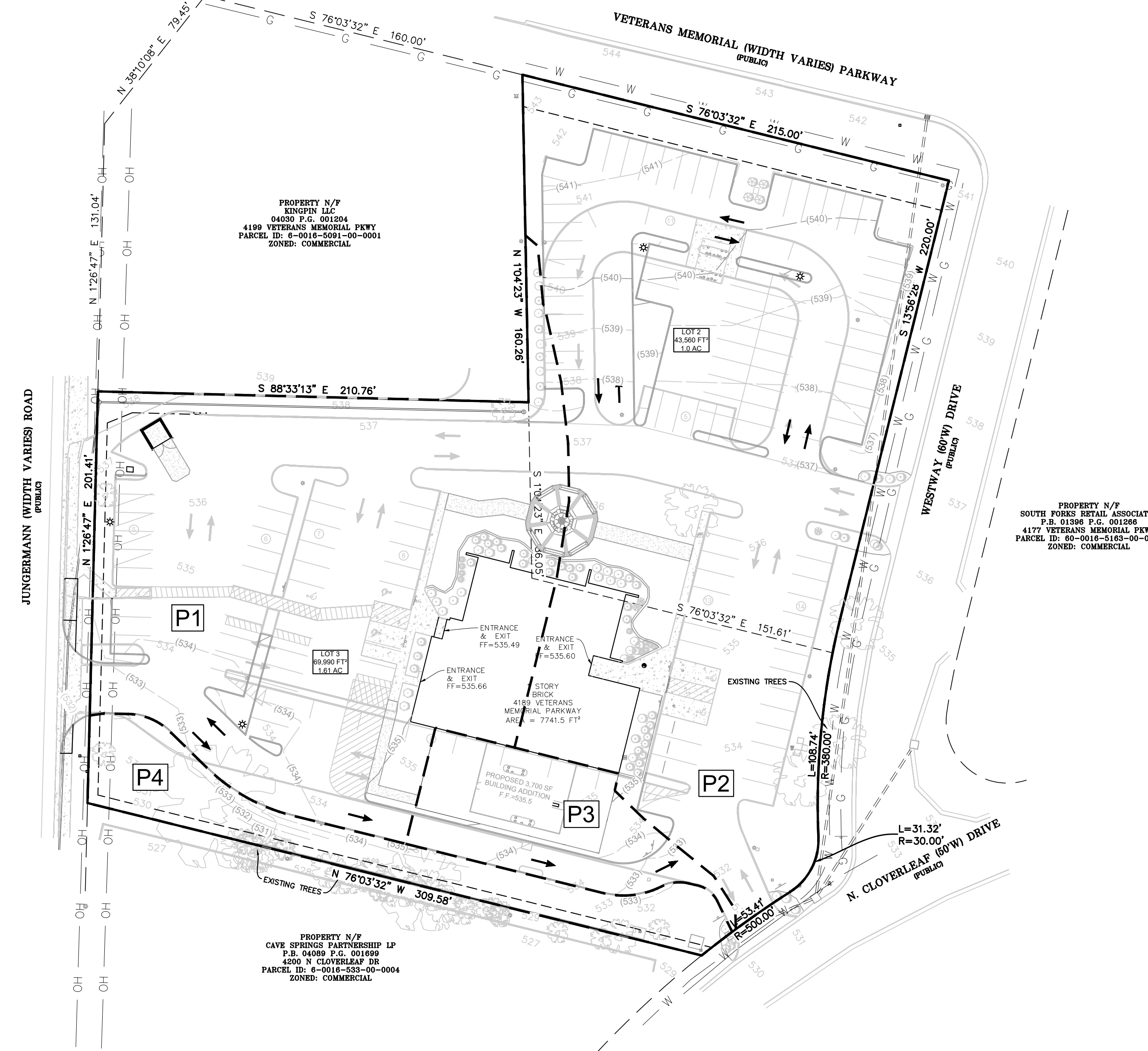
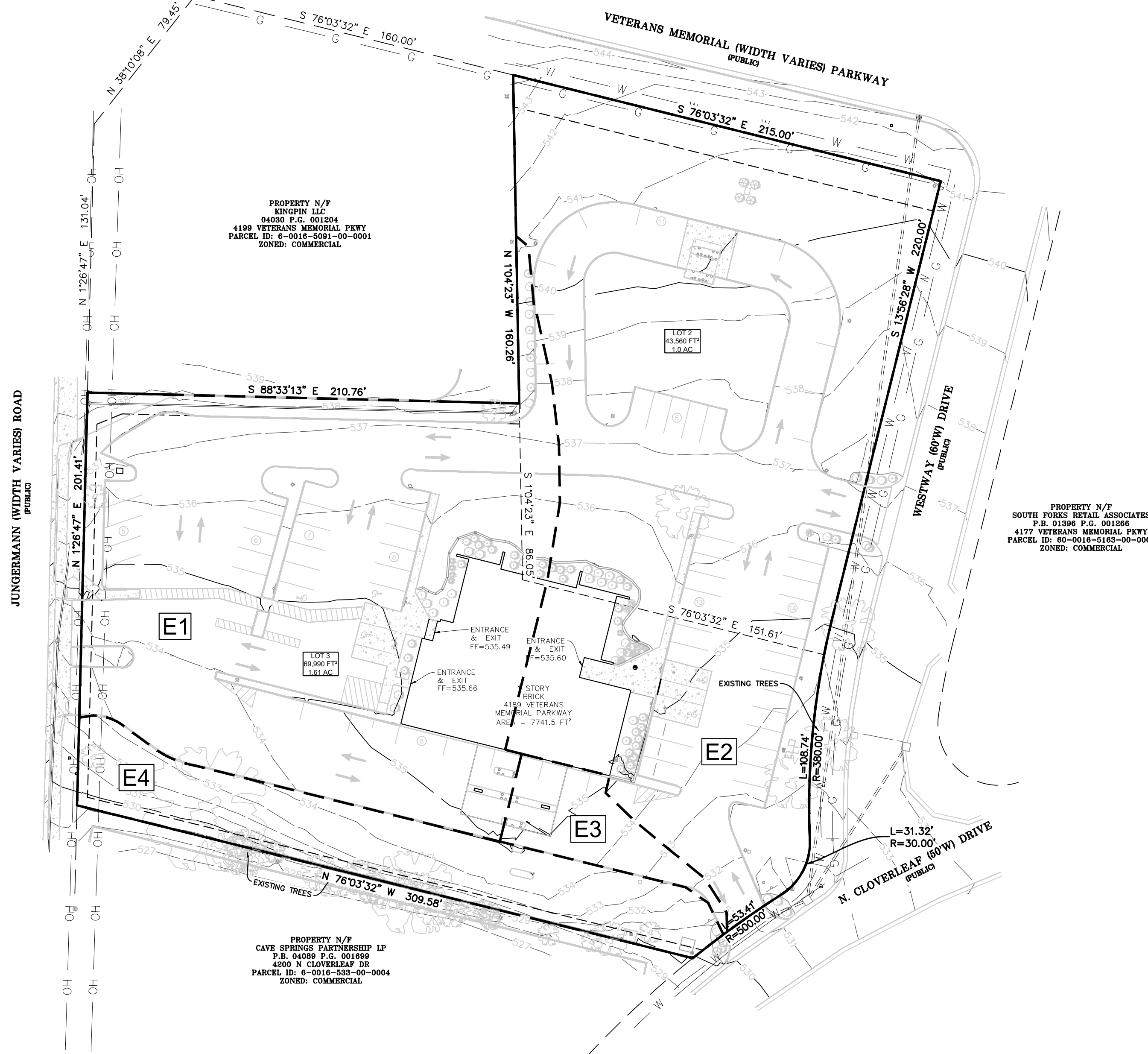
IMPROVEMENT PLAN
BAUCOM'S
LIFE CELEBRATION CENTER
 STORMWATER POLLUTION PREVENTION PLAN

ST. CHARLES ENGINEERING & SURVEYING, INC.
 801 S. FIFTH STREET, SUITE 202
 ST. CHARLES, MO 63301
 TEL: (636) 947-0607 FAX: (636) 947-2448
 ST. CHARLES ENGINEERING AND SURVEYING, INC.
 PROFESSIONAL ENGINEERING AND LAND SURVEYING CORPORATION
 MISSOURI STATE CERTIFICATE OF AUTHORITY - 001647 & 000379



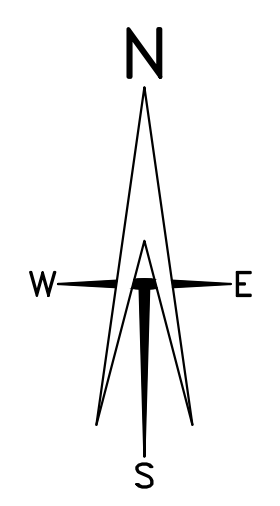
ORDER NO. 2023042
 DATE 05/20/2026

5



ZONE	SQ.FT.	AC.	P.I.	CFS	100% IMP	IMP %
E1	43025.877	0.988	3.20	3.16	35364.659	0.82
E2	56530.084	1.298	2.55	3.31	27531.508	0.49
E3	3252.967	0.075	3.54	0.26	3252.967	1.00
E4	10740.081	0.247	1.62	0.40	81.830	0.01
		2.607				

P1	41776.314	0.959	3.12	3.00	32783.995	0.78
P2	56723.656	1.302	2.97	3.87	39953.389	0.70
P3	7138.213	0.164	3.30	0.54	6246.980	0.88
P4	7912.871	0.182	1.62	0.29	30.854	0.00
		2.607				



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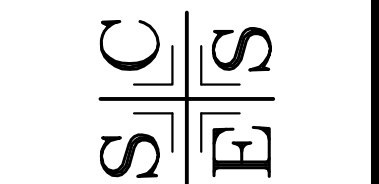
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05/20/2026 IMPROVEMENT PLAN SUBMITTAL

IMPROVEMENT PLAN
BAUCOM'S
LIFE CELEBRATION CENTER
DRAINAGE AREA MAPS

ST. CHARLES ENGINEERING & SURVEYING, INC.
801 S. FIFTH STREET, SUITE 202
ST. CHARLES, MO 63301
TEL: (636) 947-0607 FAX: (636) 947-2448
ST. CHARLES ENGINEERING AND SURVEYING, INC.
PROFESSIONAL ENGINEERING AND LAND SURVEYING CORPORATION
MISSOURI STATE CERTIFICATION OF AUTHORITY - 001647 & 000379

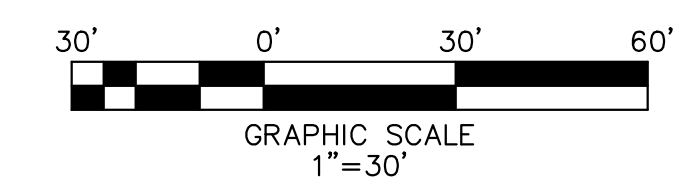
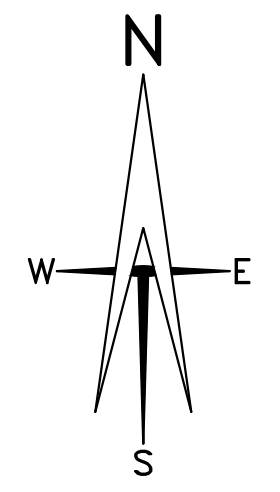
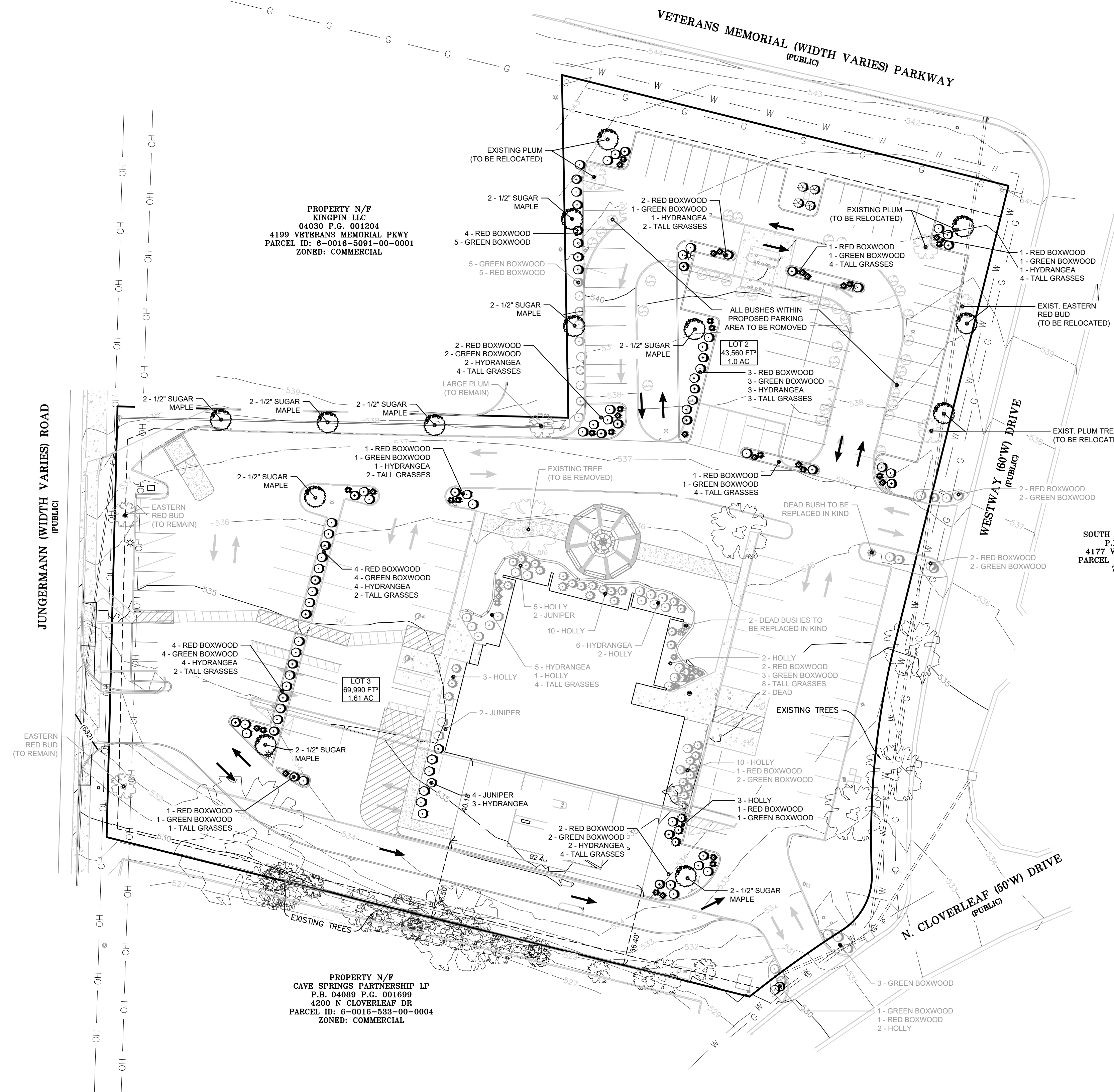


ORDER NO.
2023042
DATE
05/20/2026

5

LANDSCAPING LEGEND

SYMB.	TYPE	EXISTING	PROPOSED	TOTAL
○	GREEN BOXWOOD BUSH	18	28	46
⊙	RED BOXWOOD BUSH	13	29	42
⊗	HYDRANGEA BUSH	11	23	34
⊕	JUNIPER BUSH	4	4	8
⊗	HOLLY BUSH	33	3	36
⊗	RED BARBERRY BUSH	4	0	4
⊙	YUCCA BUSH	2	0	2
●	TALL GRASSES	12	34	46
○	2 - 1/2" SUGAR MAPLE		9	9
○	EX. PLUM TREE	4		4
○	EX. EASTERN RED BUD	3		3



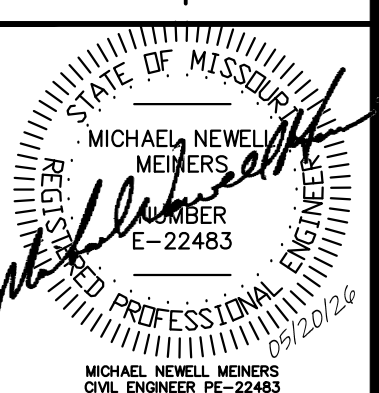
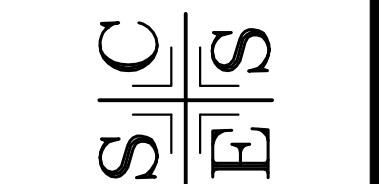
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IMPROVEMENT PLAN
BAUCOM'S
LIFE CELEBRATION CENTER
LANDSCAPING PLAN

ST. CHARLES ENGINEERING & SURVEYING, INC.
801 S. FIFTH STREET, SUITE 202
ST. CHARLES, MO 63301
TEL: (636) 947-0607 FAX: (636) 947-2448
ST. CHARLES ENGINEERING AND SURVEYING, INC.
ENGINEERING AND SURVEYING CORPORATION
MISSOURI STATE CERTIFICATES OF AUTHORITY - 001647 & 000379



ORDER NO.
2023042
DATE
05/20/2026
6

GENERAL EXTERIOR ELEVATION NOTES

- A. COORDINATE ALL GRADES WITH CIVIL DOCUMENTS
- B. VERIFY FINAL CIVIL GRADES AT BUILDING PRIOR TO CONCRETE FOUNDATION AND BRICK SHELF INSTALLATION.
- C. FIELD VERIFY FINAL MASONRY SHELF ELEVATION PRIOR TO MASONRY VENEER INSTALLATION.
- D. REFER TO DOOR SCHEDULE AND FRAME ELEVATIONS FOR ADDITIONAL OPENINGS INFORMATION.
- E. TO MATCH PNT-5, SEE SPEC.

EXTERIOR MATERIAL LEGEND

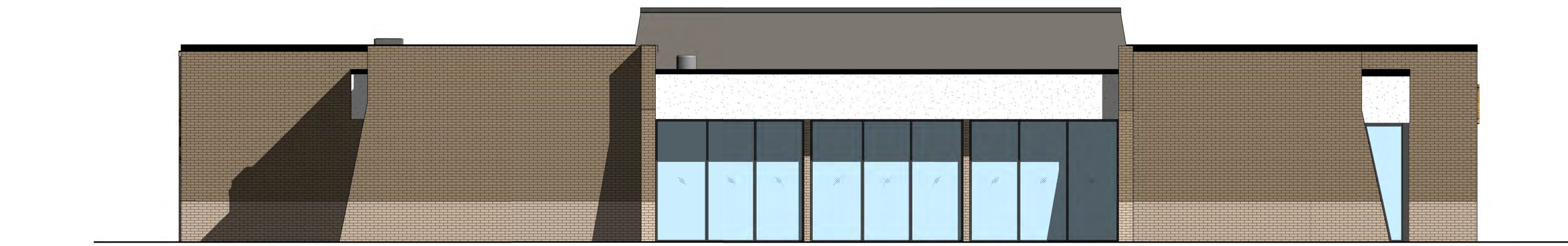
- EIFS-1 - EXTERIOR INSULATION FINISHING SYSTEMS**
EIFS - TEXTURE TO MATCH EXISTING EIFS (RE: SPEC)
FIELD COLOR
- EIFS-2 - EXTERIOR INSULATION FINISHING SYSTEMS**
EIFS - TEXTURE TO MATCH EXISTING EIFS (RE: SPEC)
ACCENT COLOR
- GL-1 - GLAZING**
INSULATED GLAZING UNIT (RE: SPEC)
- MV-1 - STONE VENEER**
STONE VENEER (RE: SPEC)
- PNT-5 - PAINT**
EXISTING BRICK - PAINTED (RE: SPEC)
- PNT-6 - PAINT**
EXISTING BRICK - PAINTED (RE: SPEC)



KEYNOTES - ELEVATIONS	
7.01	PREFIN METAL COPING CAP
7.02	PREFIN METAL SCUPPERS & DOWNSPOUTS
7.03	SCUPPER OVERFLOW. SEE DETAIL.
8.01	NEW EXTERIOR DOOR IN EXISTING OPENING. PROVIDE STEEL LINTEL AND FLASHING OVER EXTENDED OPENING
10.01	METAL AWNING
10.02	BACKLIT DIMENSIONAL LETTER SIGNAGE. PROVIDE POWER. COORDINATE MNTG. SUPPORTS.

THE ARCHITECT EXPRESSLY RESERVES HIS COMMON LAW AND STATUTORY LAW COPYRIGHTS AND OTHER PROPERTY RIGHTS FOR THESE "ARCHITECTURAL WORKS" AND "TECHNICAL DOCUMENTS" AND ANY DERIVATIVES THEREOF. THESE DRAWINGS AND DOCUMENTS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY MANNER WHATSOEVER FOR ANY USE WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF LOUIS G. CHIODINI ARCHITECTS ASSOCIATES, NOW ARE THEY TO BE ASSIGNED TO ANY PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

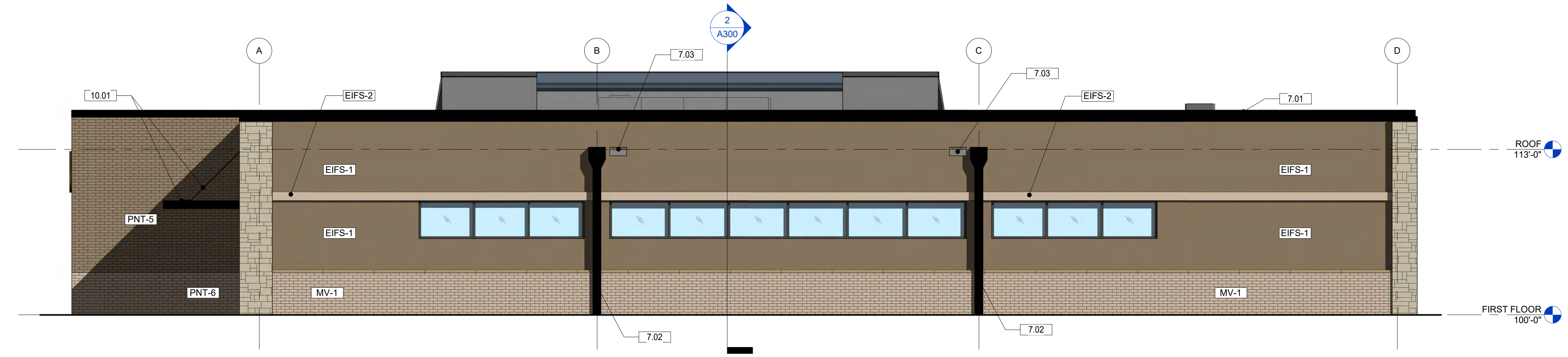
© COPYRIGHT PENDING



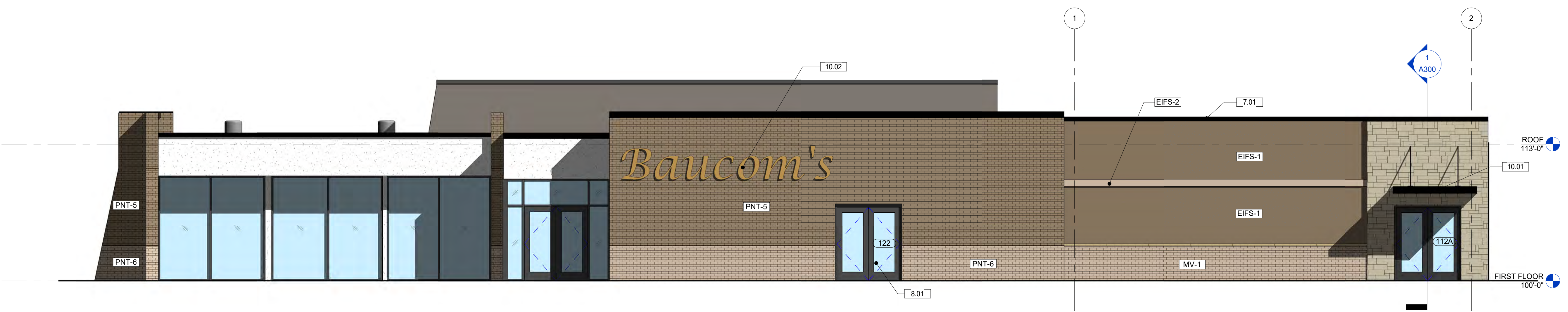
1 NORTH ELEVATION
3/16" = 1'-0"



2 EAST ELEVATION
3/16" = 1'-0"



3 SOUTH ELEVATION
3/16" = 1'-0"



4 WEST ELEVATION
3/16" = 1'-0"

BAUCOM'S LIFE CELEBRATION CENTER
4189 VETERANS MEMORIAL PARKWAY
SAINT PETERS, MO 63376

REVISIONS:

NO.	DESCRIPTION

PROGRESS DRAWINGS
NOT FOR CONSTRUCTION

EXTERIOR ELEVATIONS
Project Number: 2025.003
Date: 2025.05.21
Drawn By: LMH

A200



Project		Catalog #		Type	
Prepared by		Notes		Date	



Lumark

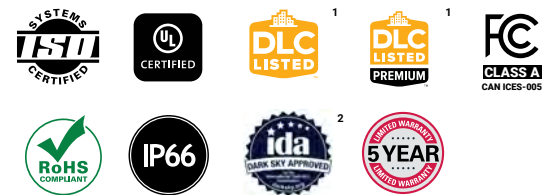
Prevail Discrete LED

Area / Site Luminaire

Product Features



Product Certifications



Interactive Menu

- Ordering Information [page 2](#)
- Mounting Details [page 3, 4](#)
- Optical Configurations [page 5](#)
- Product Specifications [page 5](#)
- Energy and Performance Data [page 6](#)
- Control Options [page 8](#)

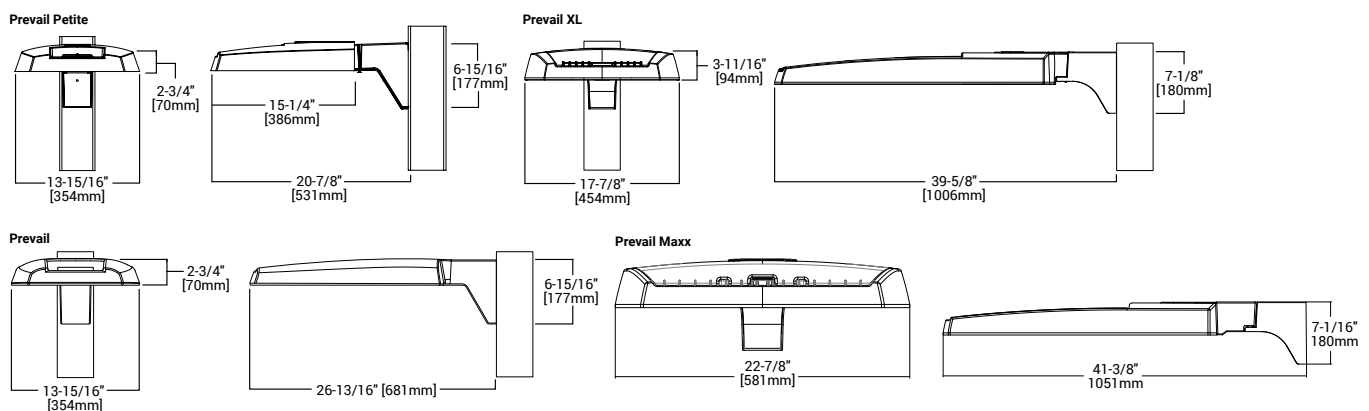
Quick Facts

- Direct-mounted discrete light engine for improved optical uniformity and visual comfort
- Lumen packages range from 4,300 - 68,000 nominal lumens (30W - 550W)
- Replaces 70W up to 1,000W HID equivalents
- Efficacies up to 157 lumens per watt
- Standard universal quick mount arm with universal drill pattern

Connected Systems

- WaveLinx PRO Wireless
- WaveLinx LITE Wireless

Dimensional Details



NOTES:
 1. Visit <https://www.designlights.org/search/> to confirm qualification. Not all product variations are DLC qualified.
 2. IDA Certified for 3000K CCT and warmer only.

Project		Catalog #		Type	
Prepared by		Notes		Date	



Lumark

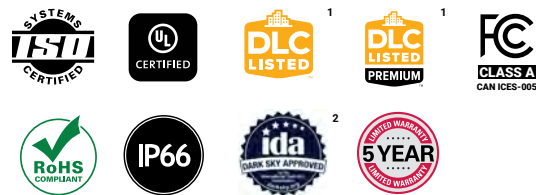
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Product Certifications



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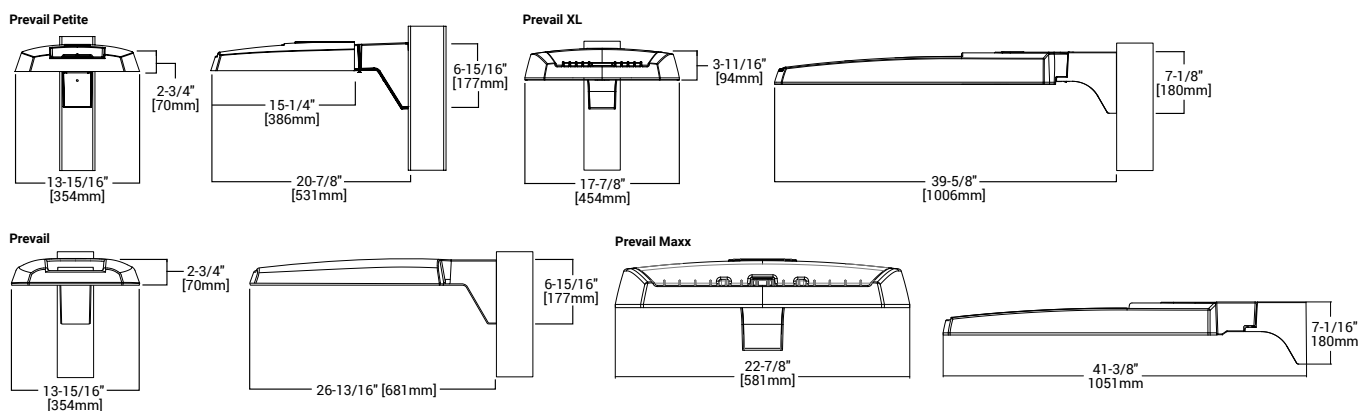
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USE APPROVAL APPLICATION
CITY OF ST. PETERS

Name of Applicant: AAHAAR VIHAAR LLC

ADDRESS: 15 Worthington Access Drive, Maryland Heights, MO 63043

TELEPHONE NUMBER: **FAX:** **E-MAIL:** aahaarvihaarstl@gmail.com

Name of Property Owner: FABULOUS 5 PROPERTIES LLC

ADDRESS: 4205 RODIN AVE BELLEVILLE, IL 62226

APPLICANT IS: Tenant

THE FOLLOWING INFORMATION MUST BE SUBMITTED FOR EACH USE APPROVAL
--

- **Location of Property:** 3603 NORTH ST PETERS PKWY, ST PETERS, MO 63376
- Written consent of the property owner (see page 2)
- Details explaining the nature of the business and activity requested for use approval. (see page 2)
- A sketch/layout of the subject site indicating the project location and details, if applicable.

Explain project details: The proposed project is a mobile food truck operation located within the parking lot of Crown Pointe Plaza in St. Peters, MO. The food truck will serve South Indian cuisine and other freshly prepared foods. The operation will be temporary and mobile in nature, with no permanent construction or structural modifications to the site. The food truck will occupy a designated parking space approved by the property owner and will comply with all local health department and fire safety regulations. Hours of operation are expected to be 9:00 AM – 10:00 PM (with 2-3 hour Break). Adequate waste disposal measures will be implemented, and the surrounding area will be maintained clean at all times. Customer parking will utilize existing Crown Pointe Plaza parking facilities. No permanent fixtures will be installed without prior approval. The applicant will obtain all necessary Health Department permits and any required city licenses prior to operation.

Applicant's Signature: on file Date: 6-22-26

Property Owner's Signature: attached Date: 6-22-26

Applicant or their representative must attend the Planning and Zoning Commission Meeting to obtain use approval. The Planning and Zoning Commission typically meets on the first Wednesday of every month at 6:30 p.m. at the St. Peters Justice Center located at the intersection of Suemandy Drive and Grand Teton Drive.

For Office Use	
Zoning District: <u>C-3</u>	Application Number: <u>UA26-000015</u>
Planning and Zoning Commission Meeting Date: <u>July 1, 2026</u>	

PROPERTY OWNER CONSENT LETTER

(For Use Approval Application – City of St. Peters Planning & Zoning Department)

Date: 06/17/2026

To:
Planning and Zoning Department
City of St. Peters
St. Peters, Missouri

Subject: Property Owner Consent for Mobile Food Truck Operation – Crown Pointe Plaza, St. Peters, Missouri.

This letter serves as written consent from the property owner for the proposed mobile food truck operation at **Fabulous 5 Properties LLC, Crown Pointe Plaza, St. Peters, Missouri 63376.**

Property Information:

Property Name: **Fabulous 5 Properties LLC, Crown Pointe Plaza**
Property Address: **3603 N. St. Peters Pkwy, St. Peters, MO 63376**
Parcel Number/APN: 3-0015-5576-00-0001.0000000
Property Owner: **Fabulous 5 Properties LLC**

The property owner hereby grants permission to:

Applicant / Business Name: **AAHAAR VIHAAR LLC**
Business Type: Mobile Food Unit / Food Truck
Proposed Use: Preparation and sale of freshly made South Indian food products from a mobile food truck.
Start Date: **07/01/2026**

Approved Location of Operation:

The mobile food truck will be permitted to operate within a designated area of the Crown Pointe Plaza parking lot, subject to final coordination with property management and applicable operational requirements.

This consent is provided solely for purposes of the Applicant's submission to the City of St. Peters Planning and Zoning Department for Use Approval review.

The proposed operation is intended as a temporary/mobile commercial use and does not authorize permanent construction, structural modifications, or exclusive property rights unless separately agreed in writing.


The Applicant will remain responsible for obtaining and maintaining all applicable approvals, permits, inspections, and licenses required by the City of St. Peters, St. Charles County, Fire Department, Health Department, and any other applicable authority.

Property Owner Acknowledgement

Authorized Property Owner/Representative Name: SAM RAMADAN

Title: Owner

Company: **Fabulous 5 Properties LLC**

Signature:  _____

Date: 06-17-2026

Phone: 859-393-6203

Email: Samr@fcdholdings.com

EXHIBIT A
PROPOSED MOBILE FOOD TRUCK LOCATION
Fabulous 5 Properties LLC, Crown Pointe Plaza, St. Peters, Missouri 63376

Applicant / Business Name: **AAHAAR VIHAAR LLC**
Project Type: Mobile Food Unit / Food Truck
Purpose: Supporting exhibit for Use Approval Application – City of St. Peters Planning and Zoning Department
Start Date: **07/01/2026**

SITE DESCRIPTION

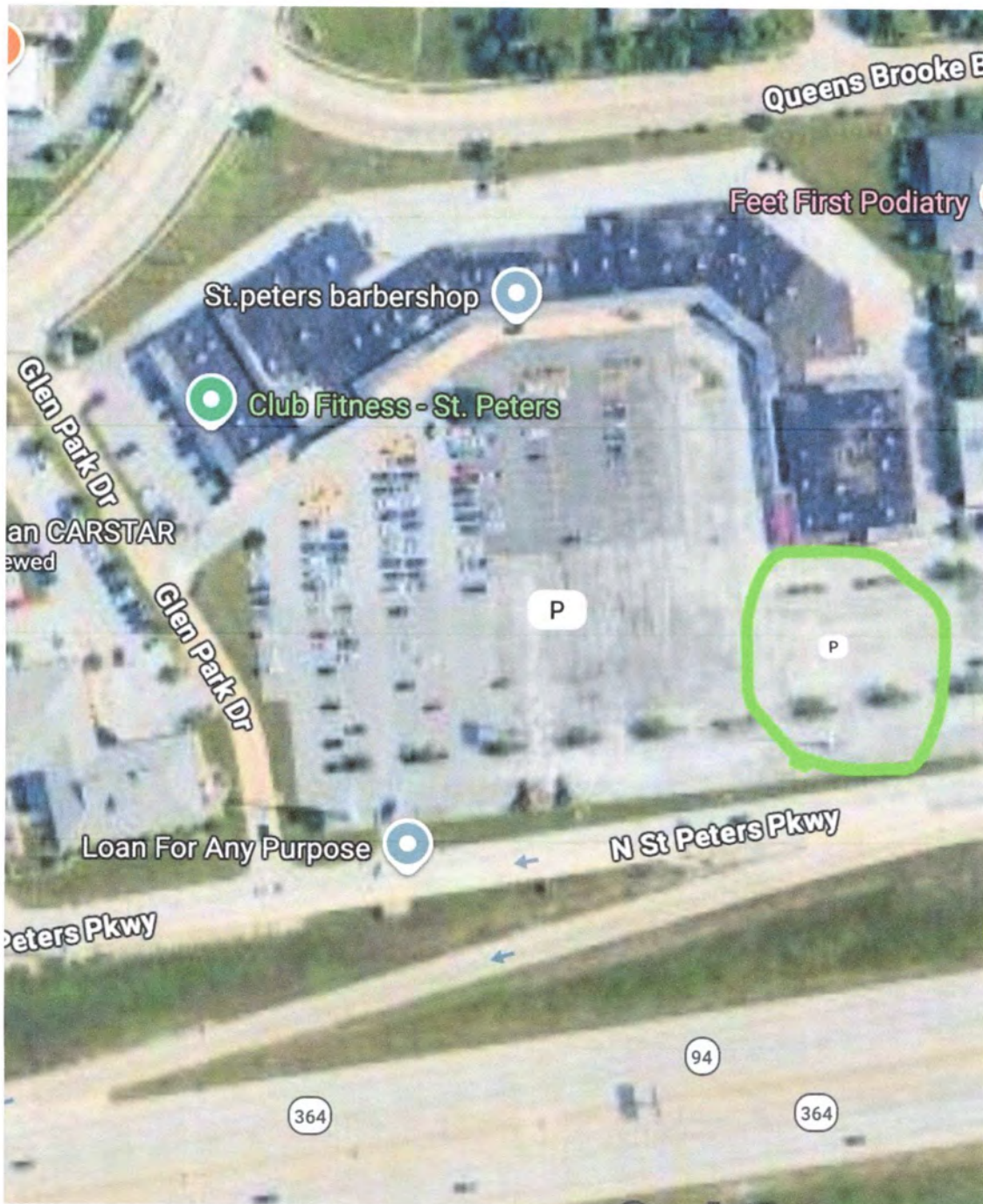
The proposed mobile food truck operation will be located within the existing parking lot area of **Crown Pointe Plaza, St. Peters, Missouri 63376**.

Proposed operating location: A designated parking area within the **Crown Pointe Plaza** parking lot as approved by property management.

Operational Notes:

- Existing customer parking spaces will continue to remain available for Crown Pointe Plaza visitors.
- No permanent structures or site modifications are proposed.
- The food truck operation will remain temporary/mobile in nature.
- Customer queuing will occur adjacent to the truck without obstructing vehicle circulation.
- Trash and waste generated by operations will be removed and disposed of appropriately.
- The location may be adjusted by property management to accommodate Crown Pointe Plaza operations and public safety requirements.

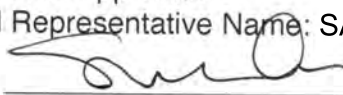
NOT TO SCALE



Legend: [P] = Existing Parking Space Food Truck = Proposed Temporary Mobile Food Unit Location

Final location subject to approval by **Fabulous 5 Properties LLC, Crown Pointe Plaza** property management and all applicable City and County requirements.

Property Owner Approval:
Authorized Representative Name: SAM RAMADAN

Signature:  _____

Date: 06-17-2026

TOWNHOMES AT LIENEMANN PARK PLAT FIVE

A TRACT OF LAND BEING A SUBDIVISION OF LOT "A" OF "TOWNHOMES AT LIENEMANN PARK", A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED AS DOCUMENT NO. 2024R-008529, AND ALSO BEING PART OF SECTION 16, TOWNSHIP 46 NORTH, RANGE 4 EAST CITY OF ST. PETERS, ST. CHARLES COUNTY, MISSOURI

OWNERS CERTIFICATE:

THE UNDERSIGNED OWNER OF THE LAND DESCRIBED IN THE FOREGOING SURVEYOR'S CERTIFICATION, HAS CAUSED SAID TRACT OF LAND TO BE SUBDIVIDED AS SHOWN ON THIS RECORD PLAT, WHICH SHALL HEREAFTER BE KNOWN AS "TOWNHOMES AT LIENEMANN PARK PLAT FIVE".

THE UNDERSIGNED FURTHER DESIGNATES THAT THIS RECORD PLAT SHALL BE SUBJECT TO AND BENEFITED BY THE EASEMENTS, CONDITIONS, RESERVATIONS, RESTRICTIONS, AND PROTECTIVE COVENANTS FOR TOWNHOMES AT LIENEMANN PARK, RECORDED AS DOCUMENT NO. 2025R-042837, OF THE ST. CHARLES COUNTY RECORDS.

PERMANENT AND SEMI-PERMANENT SURVEY MONUMENTS SHALL BE SET WITHIN 12 MONTHS AFTER RECORDING OF THIS PLAT WHICH MEET OR EXCEED THE REQUIREMENTS OF 20 CSR 2030-16.090, CHAPTER 16 - MISSOURI MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS.

ALL TAXES WHICH ARE DUE AND PAYABLE AGAINST THIS PROPERTY HAVE BEEN PAID IN FULL.

IN WITNESS WHEREOF, WE HAVE SIGNED THE FOREGOING THIS ____ DAY OF _____, 2026.

LOMBARDO HOMES OF ST LOUIS LLC

BY: _____
PRINT NAME: _____
TITLE: _____
DATE: _____

LOMBARDO HOMES OF ST LOUIS LLC

STATE OF _____)
COUNTY OF _____) SS

I, THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR SAID COUNTY IN SAID STATE, HEREBY CERTIFY THAT _____, WHOSE NAME IS SIGNED TO THE FOREGOING INSTRUMENT AS _____ OF THE LOMBARDO HOMES OF ST LOUIS LLC, AND WHO IS KNOWN TO ME, ACKNOWLEDGED BEFORE ME IN THIS DAY THAT, BEING INFORMED OF THE CONTENTS OF SAID INSTRUMENT, HE / SHE EXECUTED THE SAME VOLUNTARILY ON BEHALF OF LOMBARDO HOMES OF ST LOUIS LLC ON THE SAME BEARS DATE.

GIVEN UNDER MY HAND AND OFFICIAL SEAL THIS THE ____ DAY OF _____, 2026.

IN TESTIMONY WHEREOF, I HAVE SET MY HAND AND AFFIXED MY SEAL ON THE DAY AND YEAR FIRST ABOVE WRITTEN

MY COMMISSION EXPIRES: _____

NOTARY PUBLIC _____

AS SURVIVED LAND DESCRIPTION:
TOWNHOMES AT LIENEMANN PARK LOT "A":

A TRACT OF LAND BEING LOT A OF TOWNHOMES AT LIENEMANN PARK AS RECORDED AS DOCUMENT NO. 2024R-008529 OF THE ST. CHARLES COUNTY, MISSOURI RECORDS AND ALSO BEING PART OF SECTION 16, TOWNSHIP 46 NORTH RANGE 4 EAST ST CHARLES COUNTY, MISSOURI AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF FOREST SPRING ESTATES PLAT ONE, A SUBDIVISION RECORDED IN PLAT BOOK 19, PAGE 78 OF THE ST. CHARLES COUNTY RECORDERS OFFICE; THENCE NORTH 87°44'24" WEST 555.00 FEET TO A POINT; THENCE SOUTH 02°14'12" WEST 107.51 FEET TO A POINT; THENCE NORTH 87°42'14" WEST 726.51 FEET TO THE EASTERN RIGHT OF WAY LINE OF CINNAMON HILLS DRIVE; THENCE NORTHERLY ALONG SAID RIGHT OF WAY LINE NORTH 02°22'02" EAST 14.35 FEET TO A POINT; THENCE NORTH 29°47'29" WEST 718.56 FEET TO THE POINT OF TRUE BEGINNING; THENCE CONTINUING NORTH 29°47'29" WEST 208.16 FEET TO THE SOUTHERN RIGHT OF WAY LINE OF HIGHWAY 364; THENCE EASTERLY ALONG SAID RIGHT OF WAY LINE NORTH 14°27'33" EAST 173.90 FEET TO A POINT; THENCE NORTH 68°43'28" EAST 167.96 FEET TO A POINT; THENCE NORTH 85°25'18" EAST 131.50 FEET TO A POINT; THENCE SOUTH 88°56'31" EAST 133.23 FEET TO A POINT; THENCE SOUTH 85°44'03" EAST 202.14 FEET TO A POINT; THENCE NORTH 81° 07' 55" EAST 164.04 FEET TO A POINT; THENCE NORTH 69°17'53" EAST 327.74 FEET TO A POINT; THENCE 88°19" SAID RIGHT OF WAY SOUTH 08°40'33" EAST 91.40 FEET TO A POINT ON A CURVE TO THE LEFT, THENCE ALONG SAID CURVE HAVING A RADIUS OF 20.00 FEET AND ARC LENGTH OF 31.42, WHOSE LONG CHORD BEARS SOUTH 53°40'33" EAST FOR A CHORD DISTANCE OF 28.28 FEET; THENCE NORTH 81°19'27" EAST 93.77 FEET TO A POINT; THENCE SOUTH 08°40'33" EAST 86.39 FEET TO A POINT; THENCE SOUTH 01°49'29" WEST 157.64 FEET TO A POINT; THENCE SOUTH 43°10'31" 49.13 FEET TO A POINT; THENCE SOUTH 01°49'29" WEST 485.85 FEET TO A POINT ON A NON-TANGENTIAL CURVE TO THE RIGHT; THENCE ALONG SAID CURVE HAVING A RADIUS OF 185.00 FEET AND AN ARC LENGTH OF 117.35 FEET WHOSE LONG CHORD BEARS NORTH 18°32'59" WEST FOR A CHORD DISTANCE OF 114.89 FEET; THENCE NORTH 01°49'29" EAST 368.26 TO A POINT; THENCE NORTH 80°10'31" WEST 250.53 FEET; THENCE NORTH 20°39'17" WEST 161.00 FEET TO A POINT; THENCE SOUTH 69°17'53" WEST 87.12 FEET TO A POINT ON A CURVE TO THE RIGHT; THENCE ALONG SAID CURVE HAVING A RADIUS OF 525.00 FEET AND AN ARC LENGTH OF 103.96 FEET WHOSE LONG CHORD BEARS SOUTH 74°58'15" WEST FOR A CHORD DISTANCE OF 103.79 FEET; THENCE SOUTH 80°38'36" WEST 1.01 FEET; THENCE SOUTH 03°14'01" EAST 166.26 FEET TO A POINT ON A CURVE TO THE RIGHT; THENCE ALONG SAID CURVE HAVING A RADIUS OF 165.00 FEET AND AN ARC LENGTH OF 259.18 FEET WHOSE LONG CHORD BEARS SOUTH 41°45'59" WEST FOR A CHORD DISTANCE OF 233.35 FEET; THENCE SOUTH 86°45'59" WEST 297.52 FEET TO A POINT ON A CURVE; THENCE ALONG SAID CURVE HAVING A RADIUS OF 165.00 FEET AND AN ARC LENGTH OF 157.14 FEET WHOSE LONG CHORD BEARS NORTH 65°57'09" WEST FOR A CHORD DISTANCE OF 151.26 FEET; THENCE NORTH 38°40'08" WEST 72.49 FEET TO A POINT; THENCE SOUTH 60°12'13" WEST 52.21 FEET TO THE POINT OF BEGINNING AND CONTAINING 483,995 SQUARE FEET OR 11.11 ACRES MORE OR LESS.



SITE USGS AND VICINITY MAP
U.S.G.S. 7.5 TOPOGRAPHIC MAP, "CHESTERFIELD" QUADRANGLE, "MO", DATED "2022"
SCALE 1" = 400'

LAND DESCRIPTION:
LOTS 13, 14, 15, 16, 17, AND 18:

A TRACT OF LAND BEING PART OF LOT A OF TOWNHOMES AT LIENEMANN PARK AS RECORDED AS DOCUMENT NO. 2024R-008529, AND ALSO PART OF FUTURE DEVELOPMENT AREA "A" OF TOWNHOMES AT LIENEMANN PARK PLAT TWO AS RECORDED AS DOCUMENT NO. 2025R-042838 OF THE ST. CHARLES COUNTY, MISSOURI RECORDS; ALL WITHIN SECTION 16, TOWNSHIP 46 NORTH, RANGE 4 EAST, ST CHARLES COUNTY, MISSOURI AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT AT THE NORTHWEST CORNER OF LOT 19 OF THE AFOREMENTIONED TOWNHOMES AT LIENEMANN PARK PLAT TWO, A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED AS DOCUMENT NO. 2025R-042838 OF SAID ST. CHARLES COUNTY, MISSOURI RECORDS, SAID POINT ALSO BEING ON THE SOUTHERN RIGHT-OF-WAY LINE OF SESAME LOOP (50' WIDE); THENCE ALONG SAID RIGHT-OF-WAY SOUTH 86°45'59" WEST A DISTANCE OF 10.02 FEET TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED LOTS; THENCE LEAVING SAID RIGHT-OF-WAY SOUTH 03°14'01" EAST A DISTANCE OF 69.00 FEET TO A POINT; THENCE SOUTH 86°45'59" WEST A DISTANCE OF 144.17 FEET TO A POINT; THENCE NORTH 03°14'01" WEST A DISTANCE OF 69.00 FEET TO A POINT; SAID POINT BEING ON THE AFORESAID SOUTHERN RIGHT-OF-WAY LINE OF SESAME LOOP (50' WIDE); THENCE ALONG SAID RIGHT-OF-WAY NORTH 86°45'59" EAST A DISTANCE OF 144.17 FEET TO THE POINT OF BEGINNING AND CONTAINING 9,948 SQUARE FEET OR 0.23 ACRES MORE OR LESS.

LAND DESCRIPTION:
LOTS 197, 198, 199, 200, 201, AND 202:

A TRACT OF LAND BEING PART OF LOT A OF TOWNHOMES AT LIENEMANN PARK AS RECORDED AS DOCUMENT NO. 2024R-008529, AND ALSO PART OF FUTURE DEVELOPMENT AREA "A" OF TOWNHOMES AT LIENEMANN PARK PLAT TWO AS RECORDED AS DOCUMENT NO. 2025R-042838 OF THE ST. CHARLES COUNTY, MISSOURI RECORDS; ALL WITHIN SECTION 16, TOWNSHIP 46 NORTH, RANGE 4 EAST, ST CHARLES COUNTY, MISSOURI AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT AT THE NORTHEAST CORNER OF FUTURE DEVELOPMENT AREA "A" OF THE AFOREMENTIONED TOWNHOMES AT LIENEMANN PARK PLAT TWO, A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED AS DOCUMENT NO. 2025R-042838 OF SAID ST. CHARLES COUNTY, MISSOURI RECORDS, SAID POINT ALSO BEING ON THE SOUTHERN RIGHT-OF-WAY LINE OF GINGER DRIVE (50' WIDE); THENCE CROSSING SAID RIGHT-OF-WAY NORTH 28°04'33" EAST A DISTANCE OF 64.94 FEET TO A POINT OF NON-TANGENTIAL CURVATURE, SAID POINT BEING ON THE NORTHERN RIGHT-OF-WAY OF SAID GINGER DRIVE, AND SAID POINT BEING THE POINT OF BEGINNING OF THE HEREIN DESCRIBED LOTS; THENCE ALONG SAID RIGHT-OF-WAY ALONG A CURVE TO THE RIGHT AN ARC LENGTH OF 38.50 FEET WITH A RADIUS OF 475.00 FEET, AND WHOSE LONG CHORD BEARS SOUTH 78°19'16" WEST A CHORD DISTANCE OF 38.49 FEET TO A POINT OF TANGENCY; THENCE SOUTH 80°38'36" WEST A DISTANCE OF 26.76 FEET TO A POINT OF CURVATURE; THENCE ALONG A CURVE TO THE RIGHT AN ARC LENGTH OF 50.76 FEET WITH A RADIUS OF 475.00 FEET, AND WHOSE LONG CHORD BEARS SOUTH 83°42'18" WEST A CHORD DISTANCE OF 50.74 FEET TO A POINT OF TANGENCY; THENCE SOUTH 86°45'59" WEST A DISTANCE OF 28.39 FEET TO A POINT; THENCE LEAVING SAID RIGHT-OF-WAY NORTH 07°14'31" WEST A DISTANCE OF 68.86 FEET TO A POINT; THENCE NORTH 82°45'29" EAST A DISTANCE OF 144.17 FEET TO A POINT; THENCE SOUTH 07°14'31" EAST A DISTANCE OF 67.71 FEET TO THE POINT OF BEGINNING AND CONTAINING 10,185 SQUARE FEET OR 0.23 ACRES MORE OR LESS.

GENERAL NOTES

- A CURRENT TITLE COMMITMENT HAS NOT BEEN PROVIDED TO CIVIL & ENVIRONMENTAL CONSULTANTS INC.
- BASIS OF BEARING ADOPTED FROM MDOOT VRS SYSTEM EASTERN ZONE (2401).
- (M) = MEASURED DIMENSION (R) = RECORD DIMENSION.
- THIS SURVEY HAS BEEN EXECUTED IN ACCORDANCE WITH THE CURRENT MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS, 20 CSR 2030-16.010 AND THE RESULTS ARE SHOWN HEREON.
- THIS PROPERTY IS LOCATED IN ZONE X (AREA OF MINIMAL FLOOD HAZARD) PER NATIONAL FLOOD HAZARD LAYER FIRMETTE, MAP NO. 29183C0410G, DATED 01/20/2016.
- TOTAL AREA OF THIS PLAT IS 483,995 SQUARE FEET, OR 11.11 ACRES, MORE OR LESS.
- TYPICAL STREET ADDRESS: ###
- THERE ARE NO EXISTING PIPELINES FACILITIES WITHIN THE LIMITS OF THIS SUBDIVISION.
- DENOTES PERMANENT MONUMENT TO BE SET UPON COMPLETION OF CONSTRUCTION ACTIVITIES.
- CROSSES TO BE CUT AT ALL CENTERLINE INTERSECTIONS AND AT ALL P.C.'S AND P.T.'S OF CURVES AT THE STREET CENTERLINE.
- CROSSES TO BE CUT AT A PROLONGATION OF THE SIDE LOT LINES AFTER THE COMPLETION OF STREET CONSTRUCTION.
- SEMI-PERMANENT MONUMENTS TO BE SET AT THE REAR LOT CORNERS AFTER COMPLETION OF CONSTRUCTION ACTIVITIES.

THIS PLAT HAS BEEN REVIEWED AND IS APPROVED FOR RECORDING BY THE CITY OF ST. PETERS, MISSOURI CITY ENGINEER

LIANE SARGENT, P.E., CITY ENGINEER

I, LISA L. SCHROEDER, CITY CLERK, CITY OF ST. PETERS, MISSOURI, DO HEREBY CERTIFY THAT THE ATTACHED RECORD PLAT OF TOWNHOMES AT LIENEMANN PARK PLAT FIVE WAS APPROVED FOR RECORDING BY THE CITY OF ST. PETERS CITY ENGINEER AND WAS APPROVED BY THE BOARD OF ALDERMEN BY ORDINANCE NO. _____ OF THE CITY OF ST. PETERS, MISSOURI DATED _____. I HEREBY ENDORSE SAID PLAT BY MY HAND AND SEAL OF ST. PETERS OF MISSOURI ON THE ____ DAY OF _____, 2025.

LISA L. SCHROEDER, CITY CLERK

SURVEYORS CERTIFICATE

THIS IS TO CERTIFY THAT WE HAVE, DURING THE MONTH OF JANUARY 2024, BY THE HARVEY FRED LIENEMANN LIMITED CREDIT TRUST DATED DECEMBER 13, 2005, EXECUTED A PROPERTY BOUNDARY SURVEY ON A TRACT OF LAND BEING PART OF SECTION 16, TOWNSHIP 46 NORTH RANGE 4 EAST, A TRACT OF LAND RECORDED IN DEED BOOK 4624, PAGE 2180 AS RECORDED IN ST CHARLES COUNTY, MISSOURI. THIS SURVEY AND THE PLAT SHOWN HEREON WAS EXECUTED IN ACCORDANCE WITH THE CURRENT MISSOURI STANDARDS FOR PROPERTY BOUNDARY SURVEYS FOR URBAN PROPERTY.

B. AUSTIN DESAIN, P.L.S. #2017040268
STATE OF MISSOURI
CIVIL & ENVIRONMENTAL CONSULTANTS, INC.
CERTIFICATION/LICENSE NO. LS-2097031293

NO.	DATE	REVISION	DESCRIPTION

1450 Beale Street
Suite 305
St. Charles, MO 63303
Ph: 314.656.4566
www.cccinc.com

CCC
Civil & Environmental
Consultants, Inc.

LOMBARDO HOMES OF ST. LOUIS LLC
4 RESEARCH PARK DRIVE
ST. CHARLES, MO 63304

TOWNHOMES AT LIENEMANN PARK
PLAT FIVE
RECORD PLAT

DRAWN BY: _____
CHECKED BY: _____
DATE: JUNE 2025
PROJECT NO.: 337-2003-0105
PROJECT FILE: _____

DRAWING NO. **SV05**
SHEET 1 OF 3

Melissa Vollmer

From: Emily Noonan <emilynoonan636@gmail.com>
Sent: Sunday, June 21, 2026 1:20 PM
To: Melissa Vollmer
Cc: Julie Powers
Subject: Opposition to Petition SU 26-05 – Special Use Permit for Dog Training and Boarding Facility



I am writing to respectfully request that Petition SU 26-05, seeking a Special Use Permit to allow the training and boarding (kenneling) of dogs be denied.

While I appreciate the applicant's desire to expand services, I have concerns regarding the potential impacts this use will have on property owners and the surrounding area.

My concerns include:

- **Noise Impacts:** Boarding and kennel operations often generate significant barking and animal-related noise, which negatively affect nearby businesses and property occupants. I and several other neighbors are majority concerned with this. We appreciate the current tranquility we have and feel a boarding facility would change that.
- **Traffic and Parking:** Increased customer visits, animal drop-offs and pick-ups, and employee traffic may create congestion and parking challenges in an area designed primarily for industrial and business uses.
- **Odors and Sanitation Concerns:** Dog boarding facilities can create odors and waste management issues that may impact neighboring properties and reduce the overall appeal of the area.

Precedent for Future Uses: Approval of this permit could establish a precedent for additional non-industrial uses within the district, potentially changing the nature of the area over time.

For these reasons, I respectfully request that the Planning & Zoning Commission deny Petition SU 26-05.

Thank you for your consideration of my comments and for your service to the community.

Sincerely,

Emily Noonan

From: [Shea Noonan](#)
To: [Julie Powers](#)
Cc: [Melissa Vollmer](#)
Subject: Petition SU 26-05
Date: Sunday, June 21, 2026 1:29:51 PM

To whom it may concern,

I am writing this email to speak my concern regarding the kennel that has been proposed to being built at 1020 Grand Teton dr. I will have to respectfully decline this proposal as it will inhibit my current living situation.

Thank you
Shea Noonan
636-352-5516

SPECIAL USE PERMIT
Pack Leader Training Academy LLC
(1339 Harvestowne Industrial Drive)

The Special Use Permit requested pursuant to Special Use Permit Application No. 26-05 (the “Application”) shall be, and hereby is GRANTED subject to the following terms and conditions:

- A. The St. Peters Planning and Zoning Commission considered:
 - 1. The Application submitted by Pack Leader Training Academy on May 28, 2026.
 - 2. Testimony provided at a public hearing conducted by it on the Application;
 - 3. The Site Plan, a copy of which is attached hereto as **Exhibit B** and is incorporated by reference herein;
 - 4. The St. Peters City Code;
 - 5. The City’s Comprehensive Plan;
 - 6. The Zoning Map of the City; and
 - 7. The Report of the Director of Planning, Community and Economic Development with respect to the Application, a copy of which is attached hereto as **Exhibit D** and incorporated by reference herein.
- B. That Pack Leader Training Academy c/o Rachel Skaggs, hereinafter referred to as “Applicant”, is a lessee of the Property at 1339 Harvestowne Industrial Drive; 1339 Harvestowne Trust, hereinafter referred to as “Owner”, is the owner of fee simple title to the Property.
- C. That Applicant has submitted to the City a Site Plan (**Exhibit B**) with respect to the use of the Property (hereinafter the “Property”), which complies with the provisions of the Zoning and Subdivision Regulations, Title IV of the St. Peters City Code, Section 405.780 D.2.i.
- D. The design of the building shall be as substantially shown on **Exhibit C**. Any minor modifications to the building shall be as approved by the Planning Department. Any substantive changes to the approved building, including material changes, shall first be approved by the Planning and Zoning Commission.
- E. That the Applicant/Owner will use the Property more particularly depicted on the Site Plan (the “Premises”) for kenneling in addition to all permitted uses in the I-1 Light Industrial District.
- F. The Property is currently zoned I-1 Light Industrial District.

- G. Section 405.230 D. of the St. Peters City Code provides that a Special Use within the I-2 Light Industrial District includes “Kennels, including interior and exterior kennels, as defined by this Chapter.”

TERMS AND CONDITIONS

The approval of this Special Use Permit and the related uses of the Premises as shown on the Site Plan are subject to the following terms and conditions:

A. Uses:

1. The Owner and Applicant, and any future owner of the Property, may use the Property for a kennel in addition to all permitted uses in the “I-1” Light Industrial District.

B. General Requirements:

1. The Property shall be operated in compliance with all requirements of the St. Peters City Code.
2. All animals shall be housed inside a permanent climate-controlled (heated and air-conditioned) building on the Property.
3. A maximum of twenty (20) dogs may be kenneled on the property at any one time.
4. No animal shall be kept on the Property that by frequent and habitual barking, yelping, howling or whining causes fear or annoyance to persons living or working in the immediate area; or to persons passing upon the streets or sidewalks during daylight or night hours.
5. The Applicant, Owner, and their successors in interest, shall be in compliance with all local, State, and Federal laws and regulations related a kennel operation at the Premises.
6. The configuration of the site shall be as substantially shown on the Site Plan shown on **Exhibit B**. Any minor modifications to the site design shall be as approved by the Planning Department. Any substantive changes to the approved site configuration shall first be approved by the Planning and Zoning Commission.
7. Modifications to the existing building shall be as substantially shown on **Exhibit C**, including:
 - a. Front façade improvements including a new awning or entrance feature to be completed prior to December 1, 2027.
 - b. Landscape clean-up and enhancement to be completed prior to July 1, 2027.

Any additional minor modifications to the building shall be as approved by the Planning Department. Any substantive changes to the approved building shall first be approved by the Planning and Zoning Commission.

- C. If any provision of the permit shall to any extent be invalid or unenforceable, the remainder of the permit shall not be affected thereby, and each such provision of the permit shall be valid and enforceable to the fullest extent permitted by law.
- D. The Special Use Permit shall only be valid for a period of one (1) year from the date of its approval by the Planning Commission, unless within such period:
 - 1. a building permit is obtained and the erection or alteration of the real property and related structures is commenced, or the herein permitted use of the Premises is lawfully commenced; or
 - 2. the Board of Aldermen, upon written request of the Owner, grants an extension not exceeding one hundred and eighty (180) days, without notice of hearing.
- E. The terms and conditions herein set forth shall be deemed to be covenants running with the Premises.
- F. The Owner shall comply with all other requirements of the City's Zoning and Subdivision Regulations, including but not limited to parking and signage requirements, and any other city, state, or federal regulations that are applicable unless otherwise stated herein.

ST. PETERS PLANNING AND ZONING COMMISSION

By _____
John K. Luehrs, Chairman

Attest:

Secretary

EXHIBIT A
Legal Description

Lot 10 of Harvestowne Plat One as recorded in Book 17 Page
46 at the St. Charles County Recorder of Deeds' office

EXHIBIT B
Site Plan



EXHIBIT C
Building Elevations



EXHIBIT D

Report of the Director of Planning, Community and Economic Development

Staff Evaluation:

- a. Petition SU 26-05 – Pack Leader Training Academy, LLC c/o Rachael Skaggs: a request for a special use permit in the I-1 Light Industrial District for a 0.6 acre property to allow the training and boarding (kenneling) of dogs. The subject site is located on the west side of Harvestowne Industrial Drive, south of South St. Peters Parkway – 1339 Harvestowne Industrial Drive.

Staff Evaluation:

The proposed use will be located within an existing industrial building in Harvestowne Industrial park that has been used for a variety of industrial uses over the years. The applicant is planning to use the site for dog training, which is a permitted use in the I-1 Light Industrial District. However, they also plan to kennel dogs as part of the training business; this requires a special use permit.

The kennel will be within the existing industrial building. Staff notes the building is properly heated and cooled and is scheduled for review by the City's Building and Animal Control departments to ensure compliance with City Code. Staff notes the applicant is considering a darker grey color for the building and plans to upgrade the awning features on the building. Also, the overhead door facing Harvestowne Industrial Drive may be shifted to an attractive glass man door. These, or similar modifications to the exterior, will create a more attractive commercial/ industrial appearance. In addition, landscape clean-up and enhancement are planned to improve the overall appearance of the site. Staff notes the building details are referenced in the special use permit conditions with stated completion dates.

Staff notes the dog training is a permitted use on site. The applicant indicated they will be training 15 – 20 dogs and will include 6 – 8 dog runs ranging in size from 4' x 6' to 6' x 8'. Hours of operation will be from 7:00 a.m. to 5:00 p.m. There are nine parking spaces on site, but there is ample area to add more spaces to meet the code requirements for parking; there will be adequate spaces to accommodate the clients dropping off or picking up dogs at any time. If outside, dogs will be supervised by the operator or a staff member. The outdoor restroom area will be cleaned daily, and only one dog will be in the outside area at a time.

The surrounding land uses include industrially zoned property in the I-1 District to the north, east and west; to the south is industrially zoned properties in the I-2 District. In general, the surrounding land uses are light industrial uses – auto repair, warehouse/storage, machine shops and similar uses. Another kennel, the Watering Bowl, was approved at a location to the north in 2018. The applicant is planning to develop a relationship with the Watering Bowl to best accommodate dogs at various training levels. Overall, the site is conducive to the kennel as the kennel activity will be in an area with no residences that has included a kennel for eight years with no issues.

The site area is served by Harvestowne Industrial Drive which is off S. St. Peters Parkway – part of the Highway 364 system. These roads are designed to carry heavy traffic levels, and the roads in the industrial park accommodate truck and employee traffic on a regular basis.

Staff is of the opinion a kennel can operate without detriment to the area. The business will be located along an industrial roadway and the site has easy access. The site was used for light industrial uses for years without issue. Overall, the proposed use will provide a valued service to the community and occupy a vacant building.

Per the City of St. Peters Zoning Code, the review of any proposed special use must include consideration of certain standards; these are addressed below:

- a. *Conformity with the City Code:* The proposed facility, with the conditions contained in the special use permit, will be in keeping with the requirements of the City Code. No variances from the code requirement are proposed.
- b. *Matters pertaining to general welfare:* The facility will be located within an existing industrial park on an ample sized lot which can be easily accessed by clients of the operator. There will be no detriment to the general area.
- c. *Character of the surrounding area:* The subject site includes industrial uses within an industrial park, south of a major roadway. The proposed use would be compatible with the area given the proximity of another kennel and the general industrial area.
- d. *Compatibility with surrounding uses and neighborhood:* The area zoning and development is light industrial. The proposed facility will be in an existing industrial building and near another kennel. The area is well suited to the kennel and training uses.
- e. *Impact on value of neighboring property.* The kennel, with the conditions contained in the special use permit, will be compatible with adjacent properties. The kennel will be in an existing industrial building and near another kennel facility that has been in place for eight years. There are no residential uses in the area to be impacted by noise. Staff does not anticipate any negative impact on the value of surrounding properties.
- f. *The Comprehensive Plan:* The City's Comprehensive Plan, as amended in 2009, indicates the site area is planned for industrial/commercial uses. The proposed use of a kennel would be consistent with the plan.
- g. *Parking:* The site has been used for light industrial use for many years. The parking is adequate for clients, and additional spaces can be striped so as to meet the parking requirements of the City Code.
- h. *Traffic conditions in the surrounding area:* The site is served off of Highway 364 and Harvestowne Ind. Drive which have been adequately improved to serve the land uses in the area and is designed to accommodate industrial/commercial traffic levels.

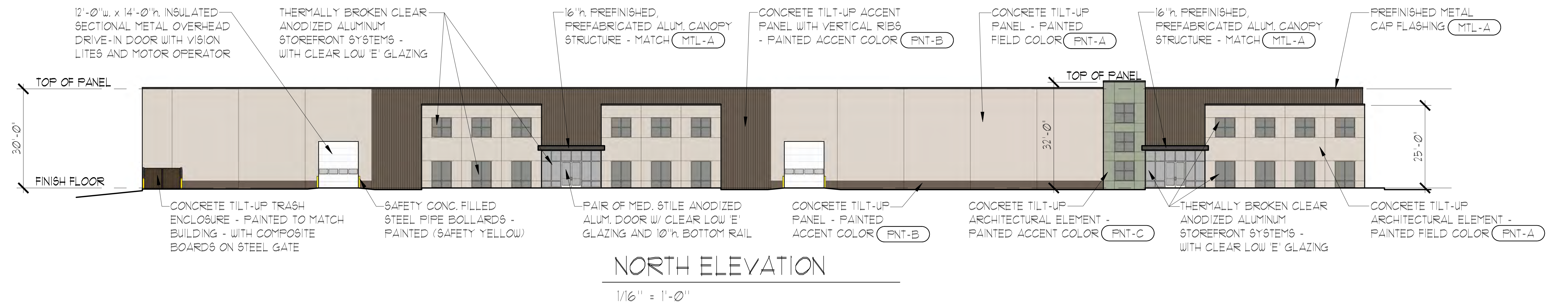
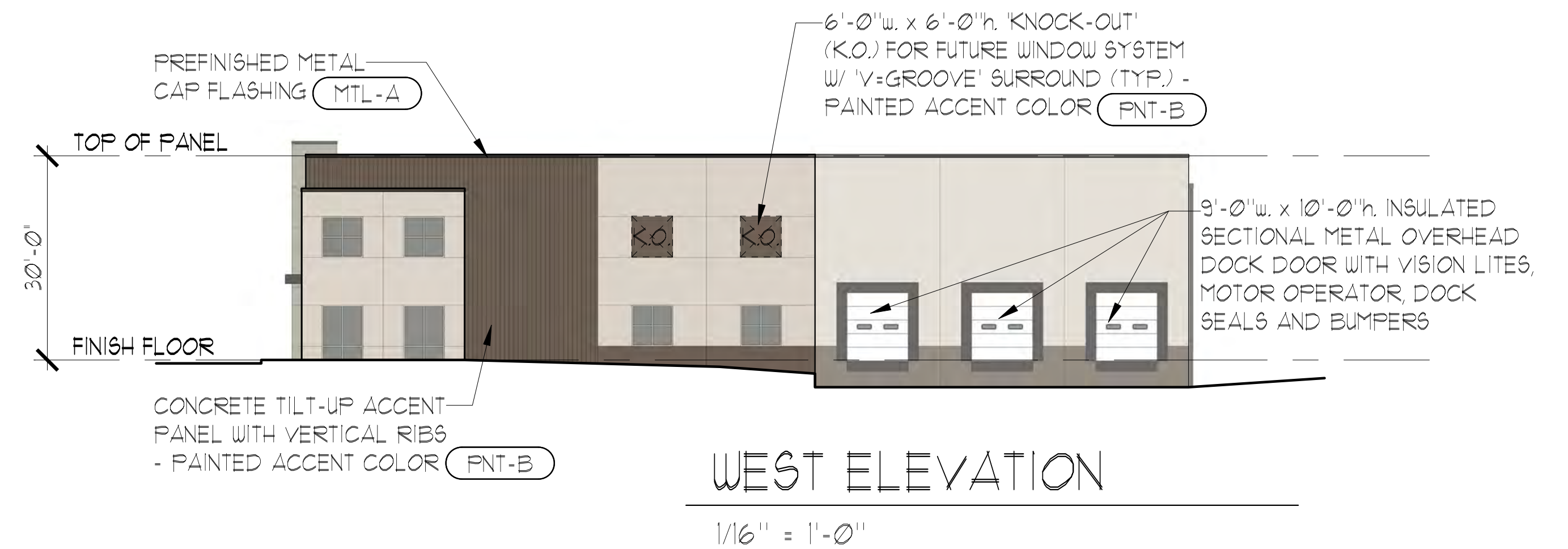
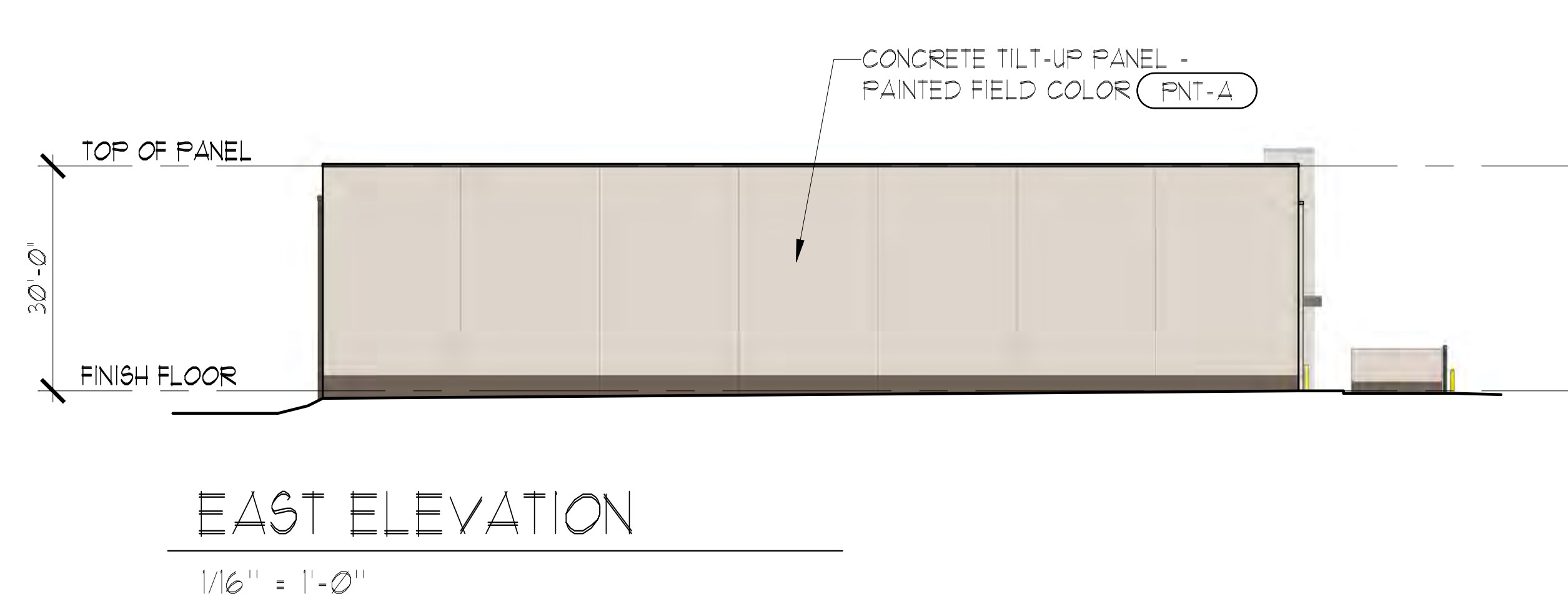
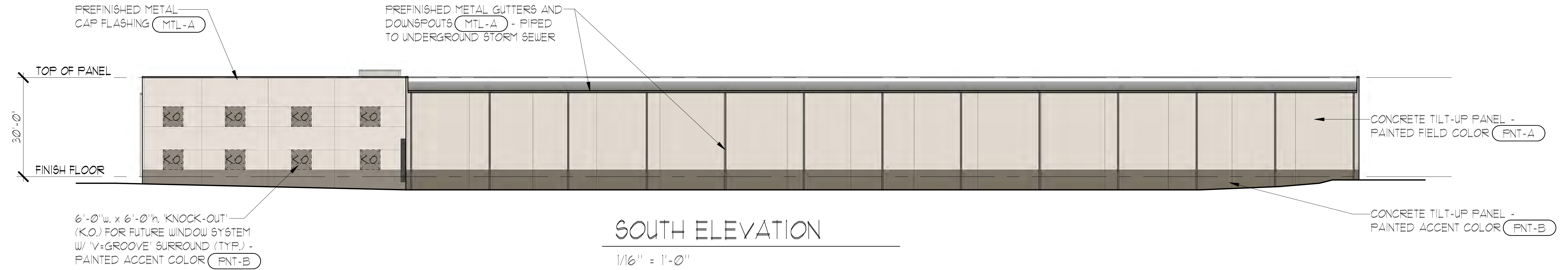
- i. *Public Utility facilities:* The existing site is currently served with all utilities; utility services are readily available in this area.
- j. *Conditions:* Specific conditions have been recommended to ensure the use is developed in a manner compatible to the area.
- k. *Time limits:* A time limit is not deemed necessary for the proposed development.

Staff Recommendation:

Based on this analysis, staff recommends approval of Petition SU 26-05 subject to the draft Special Use permit.

PROPOSED FINISHES SCHEDULE:

IDEN.	LOCATION	MANUFACTURER	STYLE	COLOR
(FNT-A)	FIELD COLOR - TYPICAL UNO.	SHERWIN WILLIAMS	SW 1634	PEDIMENT
(FNT-B)	ACCENT COLOR	SHERWIN WILLIAMS	SW 1033	BRAINSTORM BRONZE
(FNT-C)	ACCENT COLOR	SHERWIN WILLIAMS	SW 1141	WILLOW TREE
(MTL-A)	PREFINISHED METAL	TO BE SELECTED		EXTRA DARK BRONZE





PLANNING AND ZONING SUBMITTAL
JUNE 02, 2026

dial architects

CHEROKEE + PATMOS
ST. PETERS, MO 63376



SITE PLAN FOR CHEROKEE OFFICE/WAREHOUSE AT SE CORNER OF CHEROKEE & PATMOS

LOTS 2 and 3 OF 'ACKERMAN SUBDIVISION', PLAT BOOK 37, PAGE 47
CITY OF ST. PETERS, ST. CHARLES COUNTY, MISSOURI 63376

PROJECT DATA

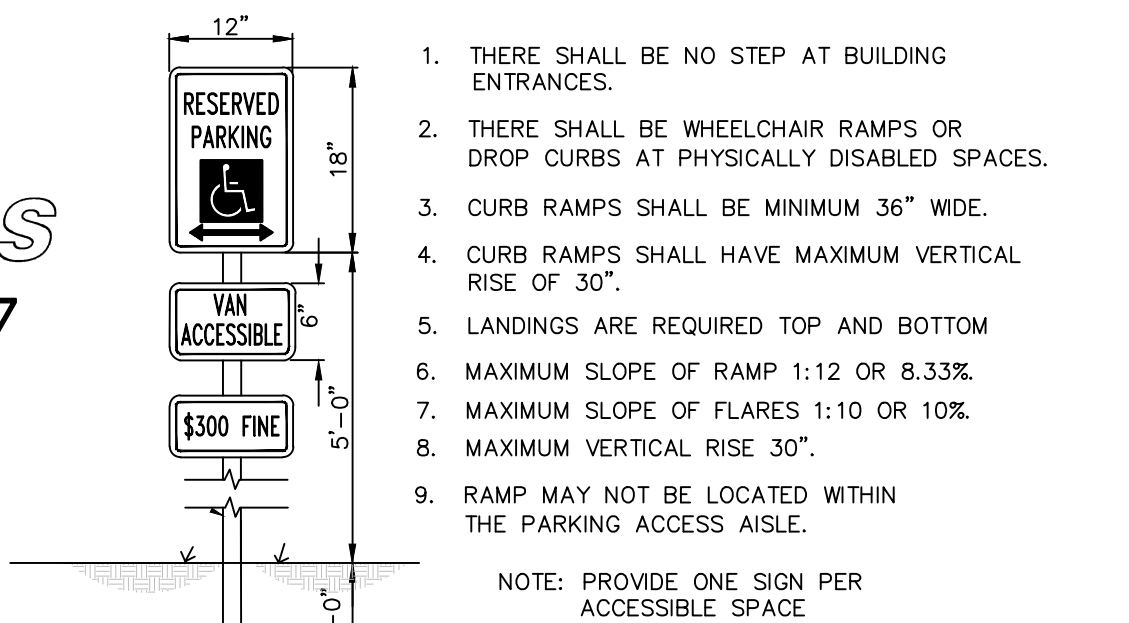
PARCEL ID : 2-0107-8509-00-0002
2-0107-8509-00-0003
ADDRESS : NOT ASSIGNED
ST. PETERS, MO 63376
OWNER : MIA HOLDINGS LLC
ACREAGE OF TRACT : 2,228 Ac.±
PRESENT ZONING : 7-2 "HEAVY INDUSTRIAL"
PROPOSED USAGE : INDUSTRIAL
SCHOOL DISTRICT : FORT ZUMWALT
FIRE DISTRICT : CENTRAL COUNTY FIRE & RESCUE
UTILITIES : WATER - CITY OF ST. PETERS
SANITARY SEWER - CITY OF ST. PETERS
GAS - ST. CHARLES GAS COMPANY
TELEPHONE - AT&T
ELECTRIC - AMEREN MISSOURI

PARKING REQUIREMENTS

GENERAL OFFICE: 3.3 SPACES PER 1,000 GFA
WAREHOUSE: 0.5 SPACES PER 1,000 GFA
PROPOSED 4,000 S.F. OFFICE, 38,400 S.F. WAREHOUSE
REQUIRED PARKING: 4,000 x 3.3/1,000 + 38,400 x 0.5/1,000 = 33 SPACES
SPACES PROVIDED = 39 (INCLUDES 2 ACCESSIBLE SPACES)

DIFFERENTIAL RUNOFF

15-YEAR 20-MINUTE STORM
TOTAL SITE = 2.228 AC.
EXISTING SITE (UNDEVELOPED)
EXISTING RUNOFF: 2.228 AC x 1.70 CFS/AC. = 3.79 CFS
PROPOSED IMPERVIOUS AREA = 76,065 S.F. = 1.746 AC.
PROPOSED RUNOFF: 1.746 x 3.54 + 0.482 x 1.70 = 7.00 CFS
DIFFERENTIAL RUNOFF = 3.21 CFS

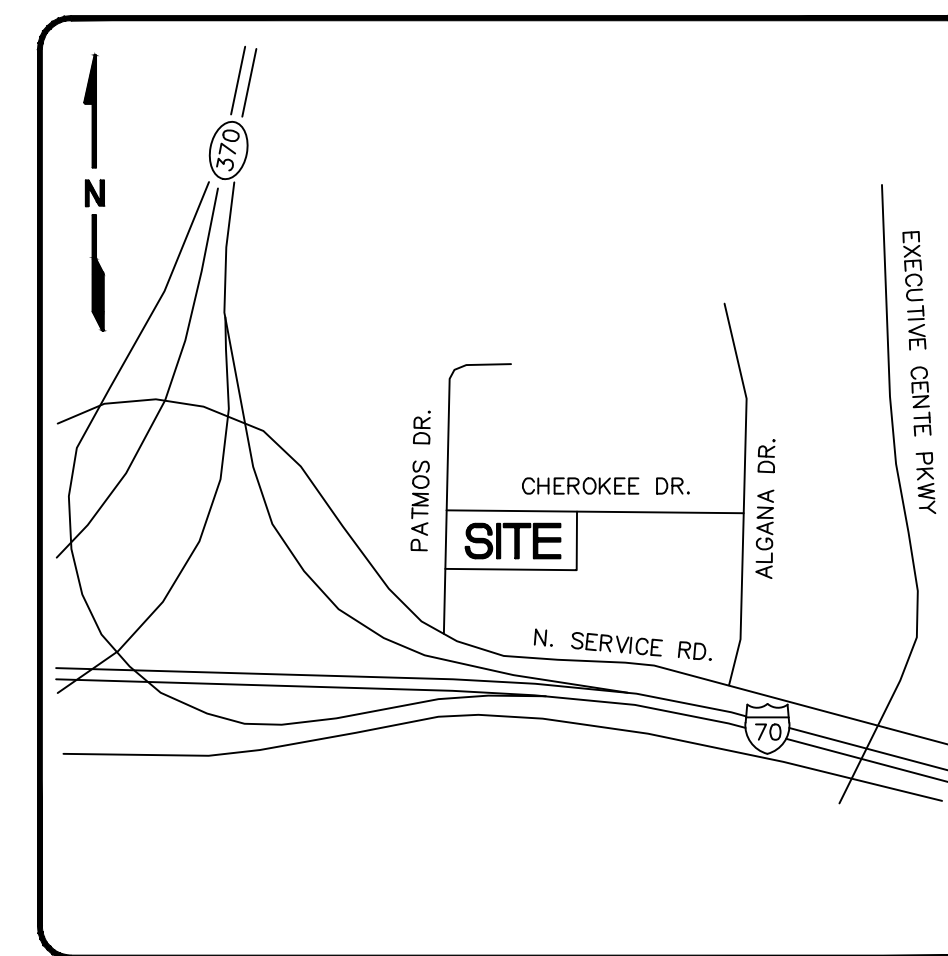


ACCESSIBLE PARKING SIGN + STALL DETAILS

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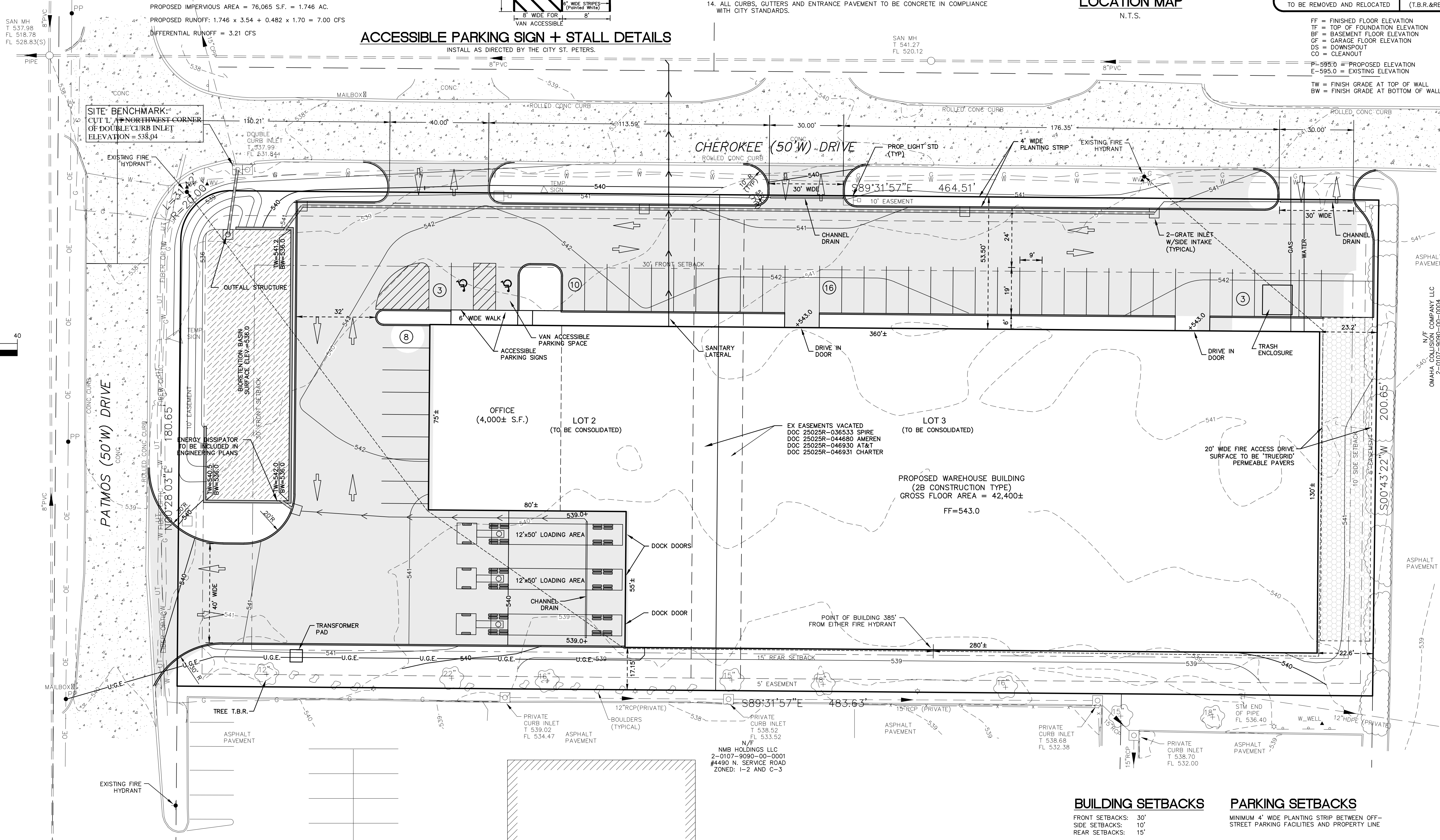
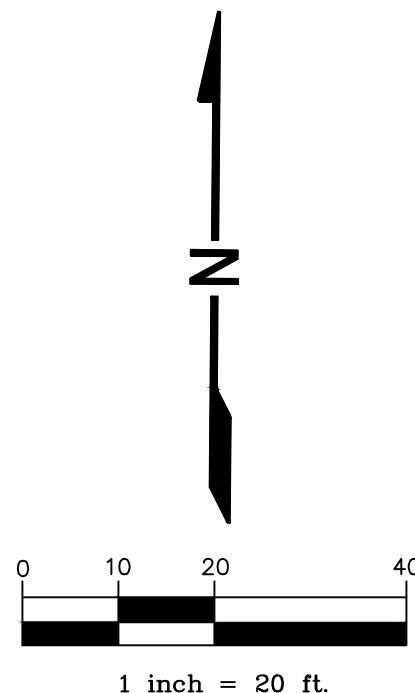


LOCATION MAP

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DESCRIPTION	SYMBOL
EXISTING MAJOR CONTOUR	---500---
EXISTING MINOR CONTOUR	---502---
PROPOSED MAJOR CONTOUR	---504---
PROPOSED MINOR CONTOUR	---502---
PROPOSED SPOT ELEVATION	X 502.00
EXISTING SANITARY SEWER	---○---
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EXISTING STORM SEWER	---□---
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USE IN PLACE	(U.I.P.)
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BUILDING SETBACKS

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PARKING SETBACKS

MINIMUM 4' WIDE PLANTING STRIP BETWEEN OFF-STREET PARKING FACILITIES AND PROPERTY LINE

CHEROKEE OFFICE/WAREHOUSE
CHEROKEE + PATMOS
SITE PLAN

PRELIMINARY
 6/23/2026
 MICHAEL CLAY VANCE
 PROFESSIONAL ENGINEER
 MISSOURI LIC NO E-25616
 REVISED
 6/23/26 CTY COMMTS

25032
 04/30/2026
 1/1
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Vance Engineering, Inc.
 10537 Lackland Road
 St. Louis, MO 63114
 P: 314.427.1800

MIA Holdings, LLC
 2849 Diekamp Farm Trail
 St. Charles, MO 63303

SITE PLAN FOR CHEROKEE OFFICE/WAREHOUSE AT SE CORNER OF CHEROKEE & PATMOS

LOTS 2 and 3 OF 'ACKERMAN SUBDIVISION', PLAT BOOK 37, PAGE 47
CITY OF ST. PETERS, ST. CHARLES COUNTY, MISSOURI 63376

PROJECT DATA

PARCEL ID : 2-0107-8509-00-0002
2-0107-8509-00-0003
ADDRESS : NOT ASSIGNED
ST. PETERS, MO 63376
OWNER : MIA HOLDINGS LLC
ACREAGE OF TRACT : 2.228 AC ±
PRESENT ZONING : 1-2 HEAVY INDUSTRIAL
PROPOSED USAGE : INDUSTRIAL
SCHOOL DISTRICT : FORT ZUMWALT
FIRE DISTRICT : CENTRAL COUNTY FIRE & RESCUE
UTILITIES : WATER - CITY OF ST. PETERS
SANITARY SEWER - CITY OF ST. PETERS
GAS - ST. CHARLES GAS COMPANY
TELEPHONE - AT&T
ELECTRIC - AMEREN MISSOURI

PARKING REQUIREMENTS

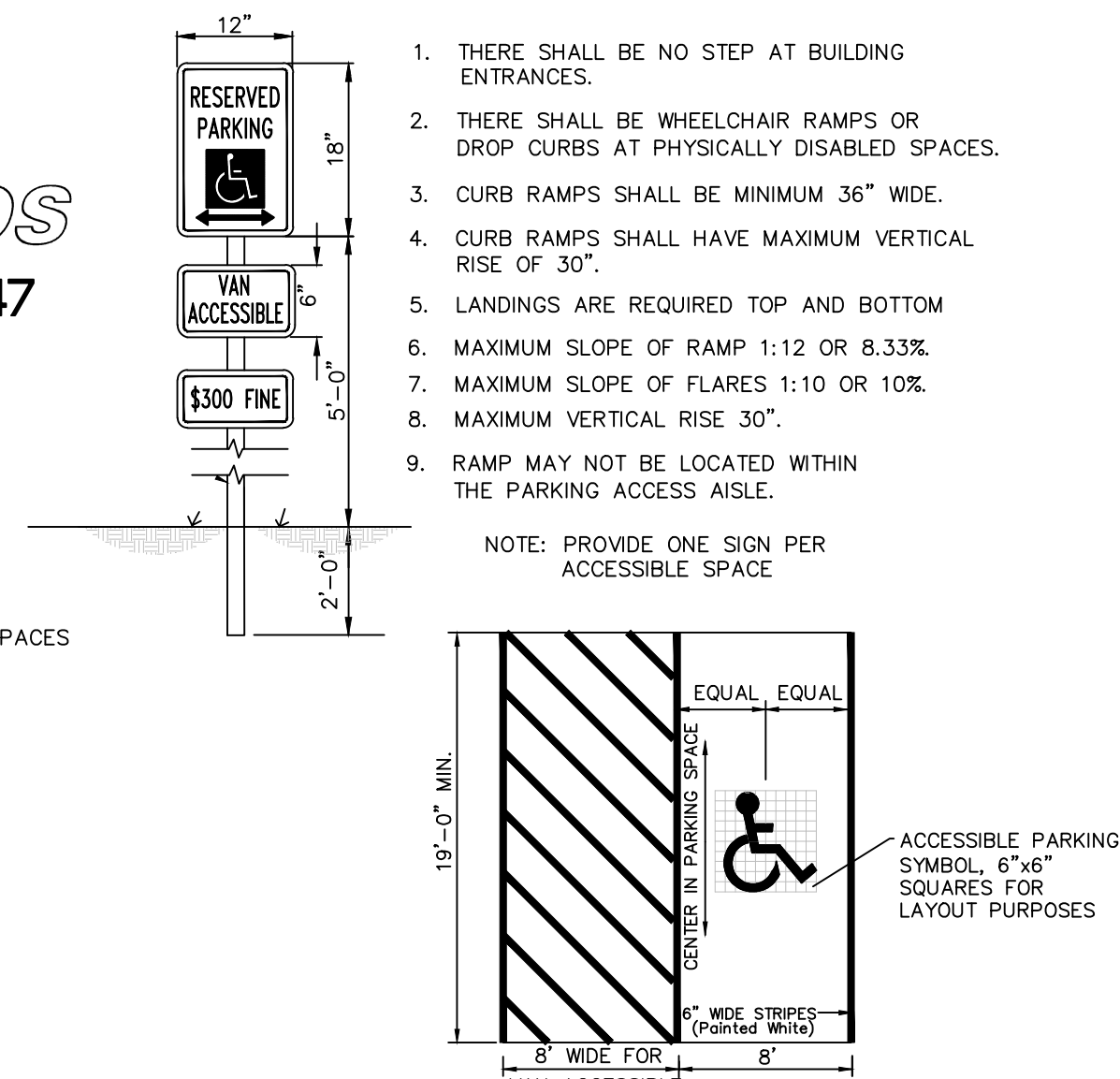
GENERAL OFFICE: 3.3 SPACES PER 1,000 GFA
WAREHOUSE: 0.5 SPACES PER 1,000 GFA
PROPOSED 4,000 S.F. OFFICE, 38,400 S.F. WAREHOUSE
REQUIRED PARKING: 4,000 x 3.3/1,000 + 38,400 x 0.5/1,000 = 33 SPACES
SPACES PROVIDED = 39 (INCLUDES 2 ACCESSIBLE SPACES)

DIFFERENTIAL RUNOFF

15-YEAR 20-MINUTE STORM
TOTAL SITE = 2.228 AC.
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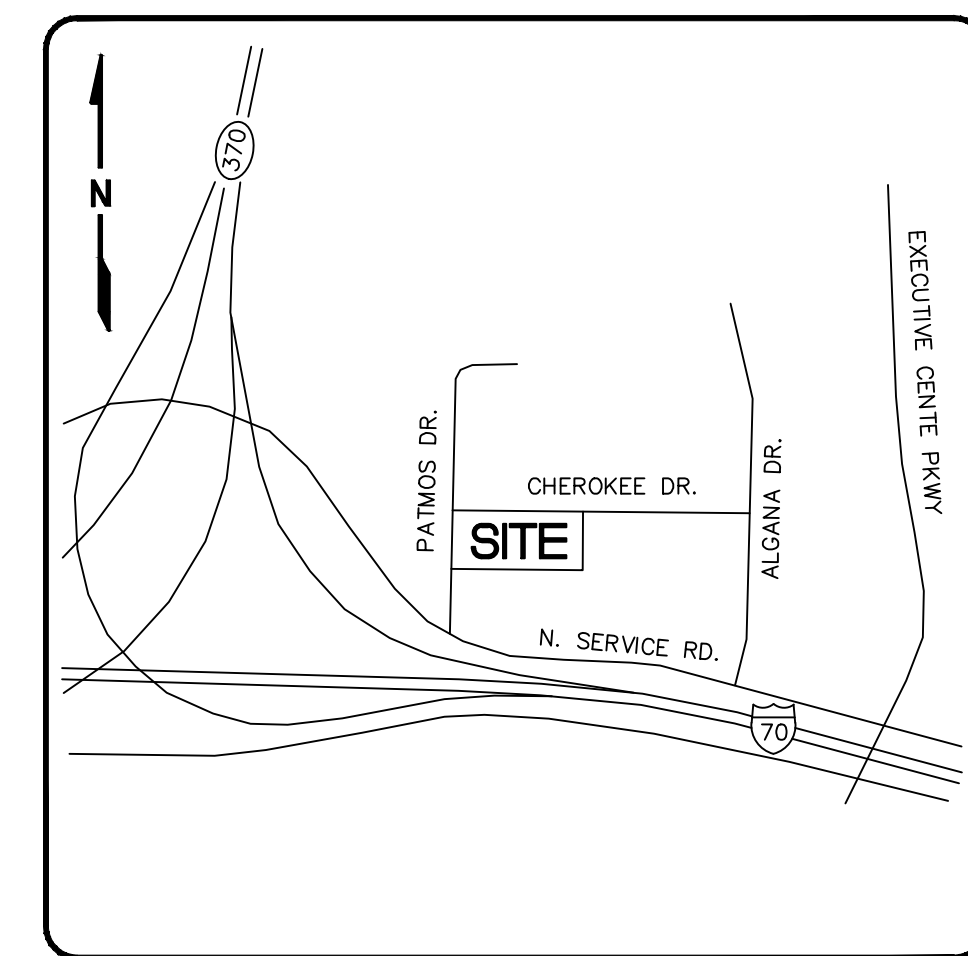


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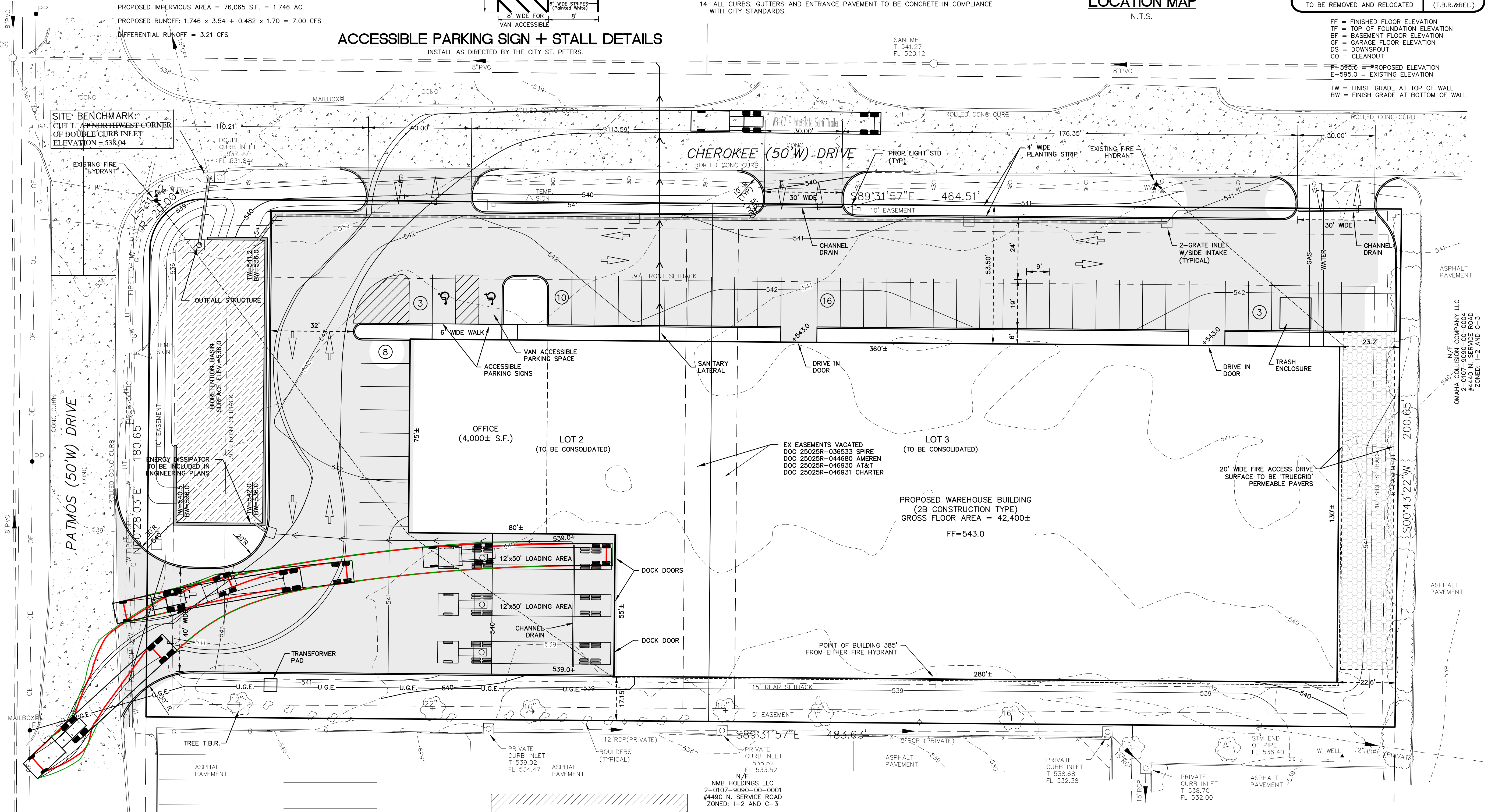
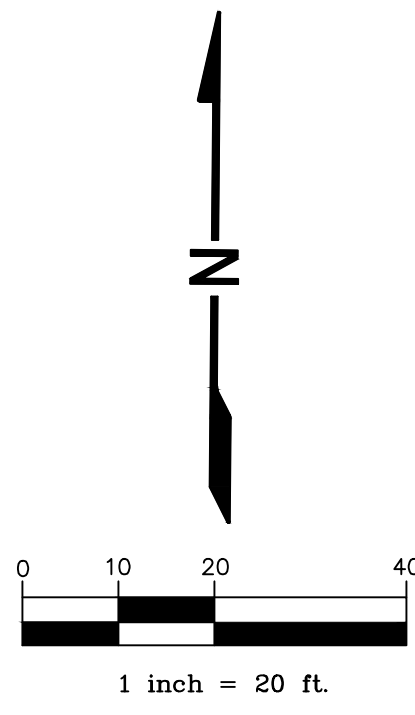
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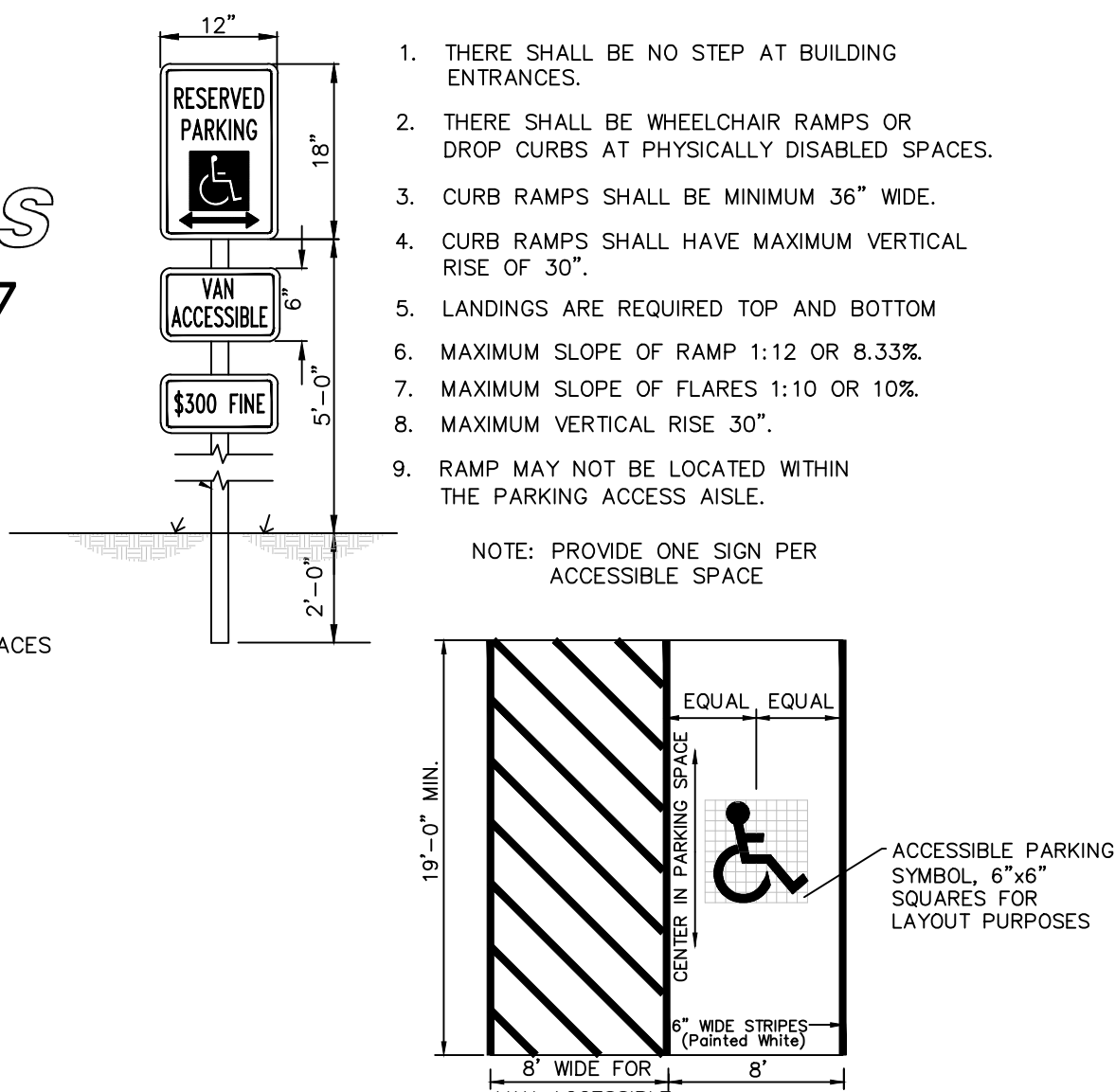
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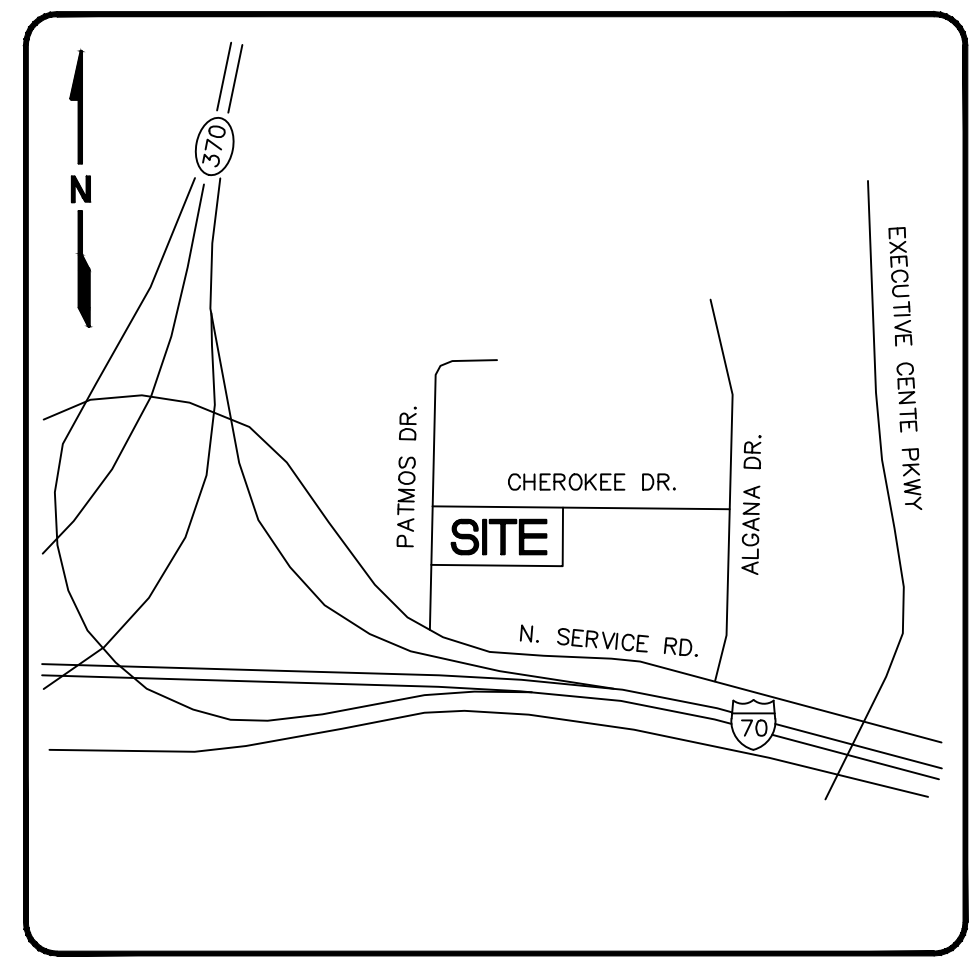
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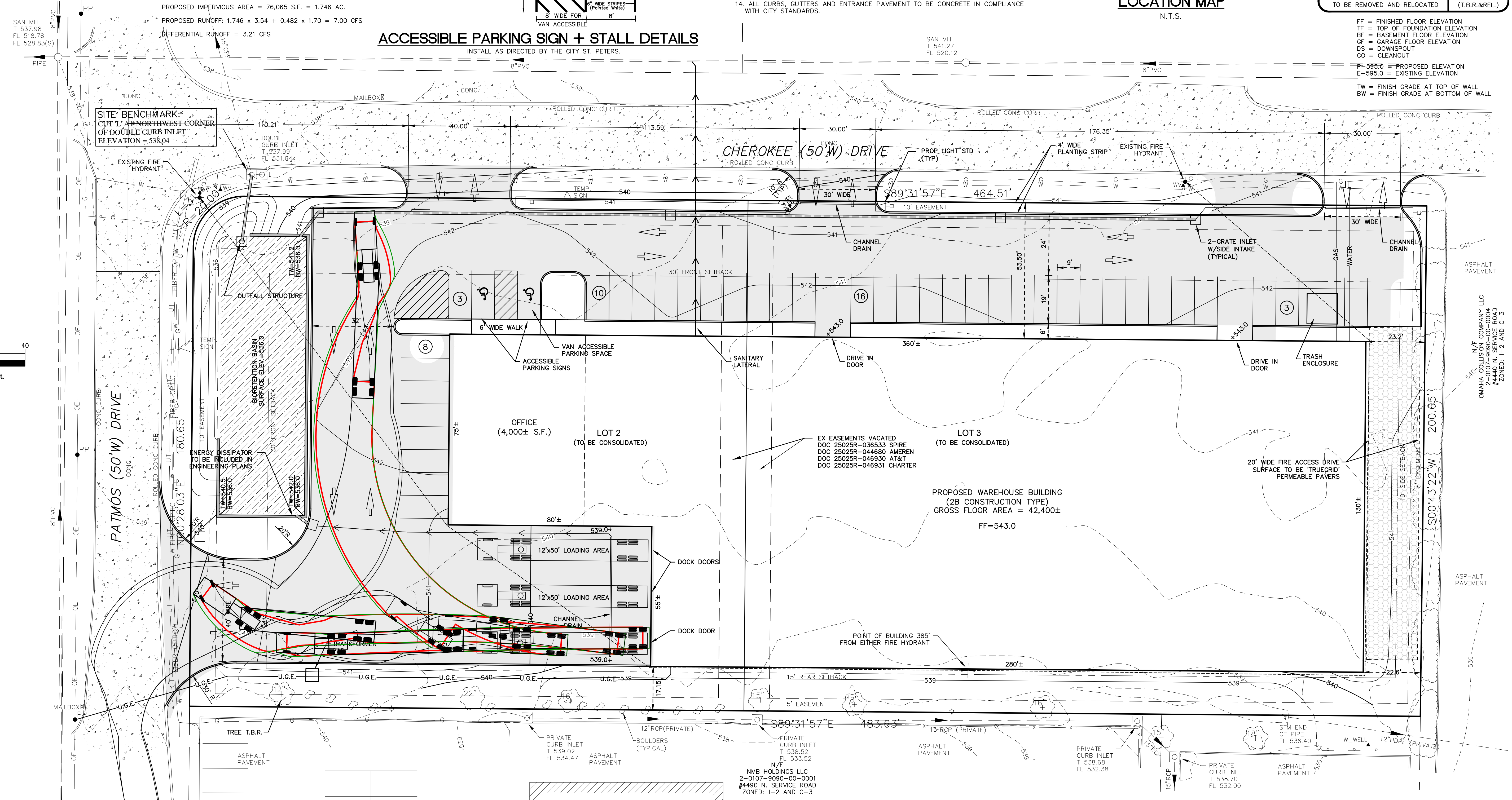
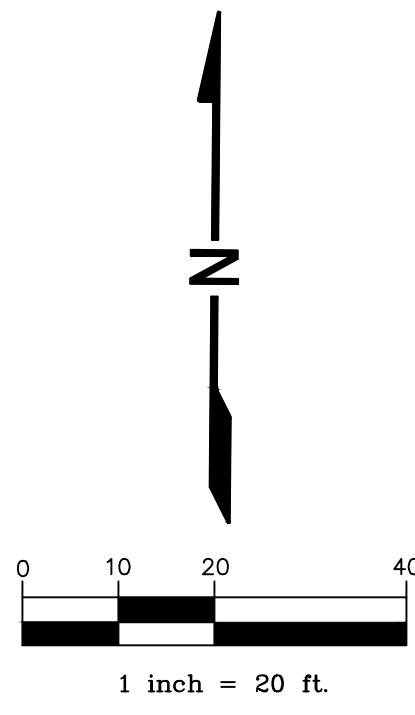
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